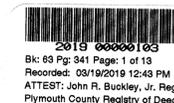
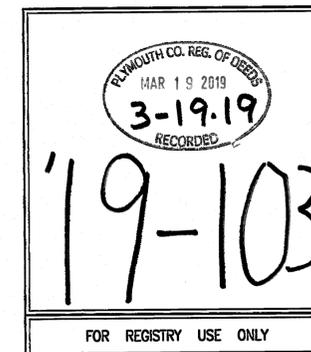


— DOWNER ESTATES — DEFINITIVE SUBDIVISION PLAN

ASSESSORS MAP 26 LOTS 21, 21B & 23 HINGHAM, MASSACHUSETTS

Plymouth County Registry of Deeds
PLAN BOOK **63** PAGE **341**



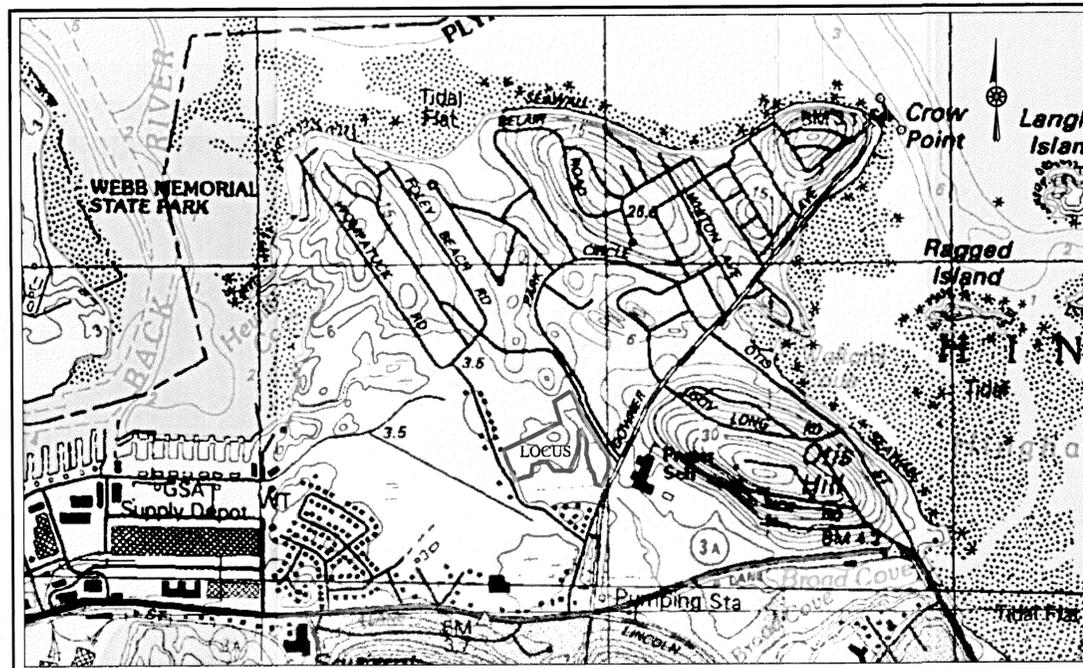
REVISIONS	
4. 11/28/18	REVIEW COMMENTS
3. 11/20/18	CERTIFICATE OF ACTION REVISIONS
2. 4/3/17	REVIEW COMMENTS
1. 3/17/17	REVIEW COMMENTS

THOMAS KOZERSKI
CIVIL
No. 45517
REGISTERED
PROFESSIONAL ENGINEER

THORON D. TOWNSEND

DRAWN BY: CMS
DESIGNED BY: TAP/CMS
CHECKED BY: TAP

— INDEX —	
SHEET	DESCRIPTION
C1.1	COVER / INDEX
C2.1	EXISTING CONDITIONS PLAN
C3.1	LOTING PLAN
C4.1	EASEMENT PLAN
C5.1	GRADING/LOT DEVELOPMENT PLAN
C6.1	PLAN AND PROFILE
C7.1	WETLAND RESTORATION/ BUFFER ZONE MITIGATION PLAN
C8.1-C8.6	CONSTRUCTION DETAILS



— PROJECT AREA MAP —
SCALE: 1"=800'

SCALE IN FEET

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED:
J.M.C. CHAIR

DATE SIGNED: 12/18/18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 21ST DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 4-13-17 AND HERewith RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: JAN 17, 2019
Debra A. McCracken
TOWN CLERK, TOWN OF HINGHAM

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

Shane M. Brenner 12/10/18
SHANE M. BRENNER, P.L.S. SHANE M. BRENNER No. 45917 REGISTERED PROFESSIONAL LAND SURVEYOR

GENERAL NOTES:

- THE APPLICANT SHALL BEAR THE RESPONSIBILITY TO SEE THAT ANY INCONSISTENCIES WITH THE PLAN AND DECISIONS OF OTHER STATE OR LOCAL AGENCIES OR BOARDS ARE RESOLVED.
- A STREET OPENING PERMIT SHALL BE OBTAINED BY THE APPLICANT AND PRESENTED TO THE PLANNING BOARD PRIOR TO CONSTRUCTION.
- THE APPLICANT SHALL COMPLETE ALL WORK SHOWN ON THE PLAN, INCLUDING ALL WAYS, DRAINAGE FACILITIES, AND UTILITIES, WITHIN TWO YEARS OF THE DATE OF ENDORSEMENT OF THE PLAN OR THIS APPROVAL OF THE PLAN SHALL BE NULL AND VOID, UNLESS, AT THE REQUEST OF THE APPLICANT, THE PLANNING BOARD EXTENDS THE TIME FOR PERFORMANCE OF SUCH WORK.
- THE ROADWAY, DRAINAGE FACILITIES, AND OTHER UTILITIES WITHIN THE EXTENDED SUBDIVISION ROAD SHALL REMAIN PRIVATE AND THE MAINTENANCE, REPAIR AND IMPROVEMENT THEREOF SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND/OR THE OWNERS OF THE LOTS WITHIN THE SUBDIVISION. SUCH OBLIGATION SHALL BE SET FORTH IN A DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS RUNNING WITH THE LAND (THE "DECLARATION"), A FINAL VERSION WHICH SHALL BE APPROVED BY THE PLANNING BOARD PRIOR TO ENDORSEMENT OF THE PLAN AND TO BE RECORDED WITH THE PLAN. THIS DECLARATION SHALL BE PROVIDED FOR REVIEW PRIOR TO THE ENDORSEMENT OF THE PLANS AND SHALL BE FILED AT THE REGISTRY OF DEEDS WITH THE PLAN.
- ALL WORK MUST BE CONSTRUCTED IN COMPLIANCE WITH SECTION 5 OF THE PLANNING BOARD RULES AND REGULATIONS AS AMENDED THROUGH, AUGUST 18, 2014.

PLANNING BOARD WAIVER REQUESTS:

ALL WORK MUST BE CONSTRUCTED IN COMPLIANCE WITH SECTION 5 OF THE PLANNING BOARD RULES AND REGULATIONS AS AMENDED THROUGH AUGUST 18, 2014, EXCEPT AS WAIVED HEREIN:

- SECTION 4 - B, TABLE 1, MINIMUM DESIGN STANDARDS FOR STREETS (EDGE TREATMENT)
MINIMUM OF 18" CAPE COD BERM WIDTH ON EACH SIDE OF STREET
ALLOW 12" WIDE CAPE COD BERM
- SECTION 5 - B4, STREET TREES
REQUEST TO WAIVE 50' ON CENTER SPACING REQUIREMENT FOR STREET TREES, BUT NOT THE TOTAL NUMBER OF STREET TREES.
ALLOW STREET TREES TO BE PLANTED ONLY IN FEASIBLE LOCATIONS SHOWN ON THE PLAN (REFER SHEET C5.1)

RECORD OWNER:

ASSESSORS MAP 26 LOT 21
JAMES J. and ELVIRA E. FEELEY
DEED BOOK 3225 PAGE 732
PLAN BOOK 6 PAGE 599

ASSESSORS MAP 26 LOT 21B and 23
FEELEY REALTY TRUST
JAMES J. FEELEY and ELVIRA M. FEELEY, TRUSTEES
DEED BOOK 3944 PAGE 757

PLAN REFERENCES:

- PLAN BOOK 3 PAGE 709
- PLAN BOOK 6 PAGE 599
- PLAN BOOK 7 PAGE 97
- PLAN BOOK 10 PAGE 611
- PLAN BOOK 17 PAGE 682

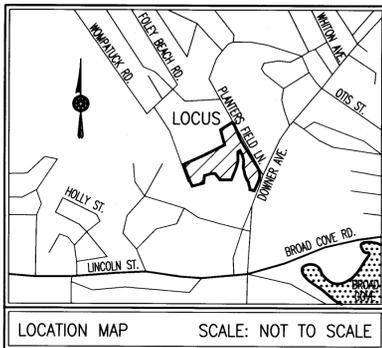
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DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS
 PREPARED FOR: FEELEY REALTY TRUST
 232 WATER STREET
 QUINCY, MA 02169

JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION: NOVEMBER 29, 2018
COVER/INDEX
SHEET C1.1

CRTE # 19004
 CRTE # 19005
 CRTE # 19007
 CRTE # 19006
 CK 975- (1 of 13)

19-103



LEGEND

EXISTING	DESCRIPTION
--- 1' ---	1' CONTOUR
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS CONCRETE CURB
---	STONE WALL
---	DRAIN LINE
---	SEWER LINE
---	OVERHEAD WIRE
---	GAS LINE
---	WATER LINE
---	100' WETLAND BUFFER
---	50' WETLAND BUFFER
---	WETLAND LINE
---	HYDRANT
---	WATER GATE
---	GAS GATE
---	UTILITY POLE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCH BASIN
---	SIGN
---	LANDSCAPING

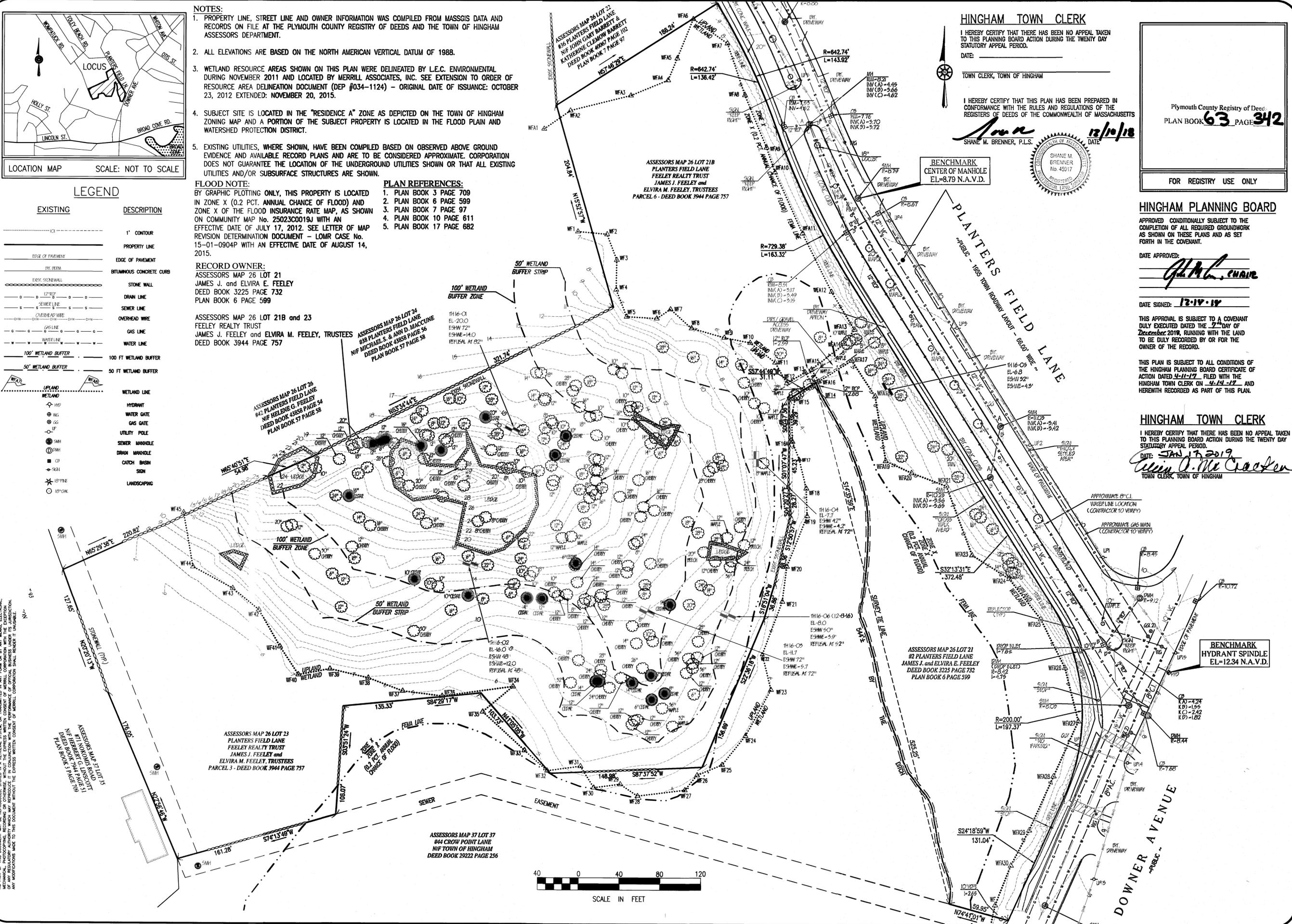
- NOTES:**
- PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM MASSGIS DATA AND RECORDS ON FILE AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS AND THE TOWN OF HINGHAM ASSESSORS DEPARTMENT.
 - ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - WETLAND RESOURCE AREAS SHOWN ON THIS PLAN WERE DELINEATED BY L.E.C. ENVIRONMENTAL DURING NOVEMBER 2011 AND LOCATED BY MERRILL ASSOCIATES, INC. SEE EXTENSION TO ORDER OF RESOURCE AREA DELINEATION DOCUMENT (DEP #034-1124) - ORIGINAL DATE OF ISSUANCE: OCTOBER 23, 2012 EXTENDED: NOVEMBER 20, 2015.
 - SUBJECT SITE IS LOCATED IN THE "RESIDENCE A" ZONE AS DEPICTED ON THE TOWN OF HINGHAM ZONING MAP AND A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN THE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICT.
 - EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. CORPORATION DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.

FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X (0.2 PCT. ANNUAL CHANCE OF FLOOD) AND ZONE X OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25023C0019J WITH AN EFFECTIVE DATE OF JULY 17, 2012. SEE LETTER OF MAP REVISION DETERMINATION DOCUMENT - LOMR CASE No. 15-01-0904P WITH AN EFFECTIVE DATE OF AUGUST 14, 2015.

RECORD OWNER:
ASSESSORS MAP 26 LOT 21
JAMES J. and ELVIRA E. FEELEY
DEED BOOK 3225 PAGE 732
PLAN BOOK 6 PAGE 599

ASSESSORS MAP 26 LOT 21B and 23
FEELEY REALTY TRUST
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- PLAN REFERENCES:**
- PLAN BOOK 3 PAGE 709
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HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: _____
TOWN CLERK, TOWN OF HINGHAM

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

SHANE M. BRENNER, P.L.S.



DATE: 12/10/18

BENCHMARK
CENTER OF MANHOLE
EL=8.79 N.A.V.D.

Plymouth County Registry of Deeds
PLAN BOOK **63** PAGE **342**

FOR REGISTRY USE ONLY

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: _____

John M. Chave

DATE SIGNED: 12-10-18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 27th DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

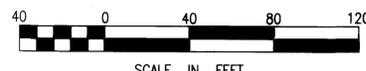
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HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: JAN 7 2019
Shane M. Brenner
TOWN CLERK, TOWN OF HINGHAM

BENCHMARK
HYDRANT SPINDLE
EL=12.34 N.A.V.D.



REVISIONS

4. 11/29/18	REVIEW COMMENTS
3. 11/20/18	CERTIFICATE OF ACTION REVISIONS
2. 4/3/17	REVIEW COMMENTS
1. 5/17/17	REVIEW COMMENTS



DRAWN BY: CMS

DESIGNED BY: TAP/CMS

CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
WWW.MERRILLINC.COM

DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS

PREPARED FOR:
FEELEY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION:
NOVEMBER 29, 2018
EXISTING CONDITIONS

ZONING DATA

DISTRICT: RESIDENCE A WITH A PORTION OF THE SITE WITHIN THE FLOOD PLAN AND WATERSHED PROTECTION DISTRICT.

	REQUIRED	ACTUAL/PROPOSED
LOT AREA	20,000 S.F.	368,012 S.F.
LOT FRONTAGE	125'	670 ±'
MAX. HEIGHT	35' (2.5 STORIES)	35' (2.5 STORIES)
MAX. STRUCTURE COVERAGE	N/A	N/A
FRONT SETBACK (AVG OF ADJOINING)	25'	>25'
SIDE SETBACK	15'	>15'
REAR SETBACK	15'	>15'
PARKING	2 SPACES	2 MIN.
PERP. STALL SIZE	9' x 18'	9' x 18'

ZONING ANALYSIS TABLE

LOT #	MIN. REQ'D AREA	EX./PROP. AREA	REQ'D CONTIGUOUS UPLAND	PROP. UPLAND	MAX SHAPE FACTOR	SHAPE FACTOR
LOT 1	20,000 S.F.	126,099± S.F.	20,000 S.F.	63,363± S.F.	22	21.7
LOT 2	20,000 S.F.	54,648± S.F.	20,000 S.F.	37,185± S.F.	22	21.7
LOT 3	20,000 S.F.	57,062± S.F.	20,000 S.F.	32,917± S.F.	22	21.6

Plymouth County Registry of Deeds
 PLAN BOOK **63** PAGE **343**

FOR REGISTRY USE ONLY

REVISIONS

4.11/29/18	REVIEW COMMENTS
3.11/20/18	CERTIFICATE OF ACTION REVISIONS
2.4/3/17	REVIEW COMMENTS
1.13/17/17	REVIEW COMMENTS



DRAWN BY: CMS
 DESIGNED BY: TAP/CMS
 CHECKED BY: TAP

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: *[Signature]*
 DATE SIGNED: **12-10-18**

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 7TH DAY OF October, 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

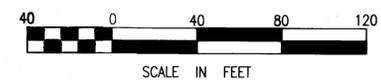
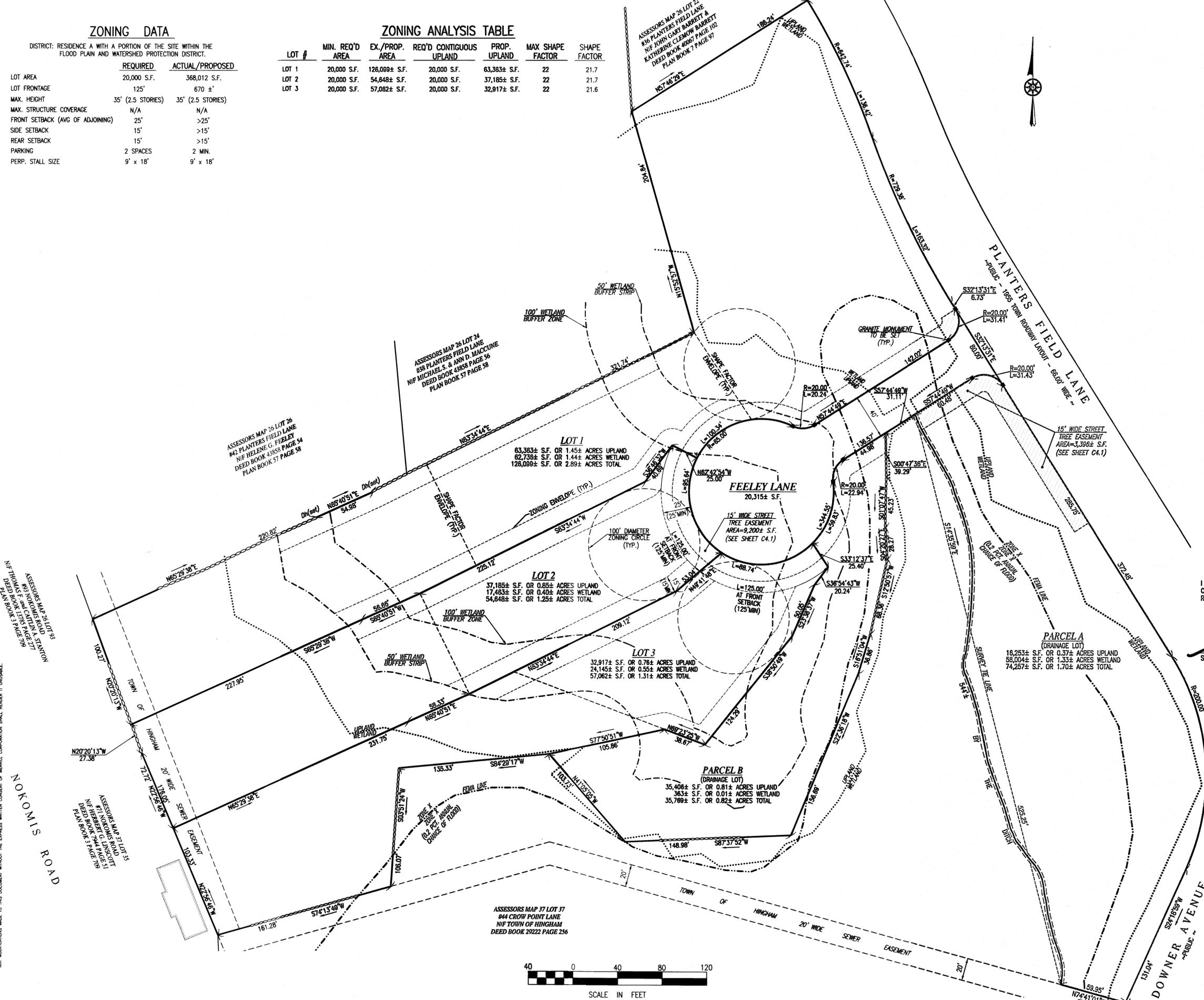
THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 4-14-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.
 DATE: JAN 17, 2019
[Signature]
 TOWN CLERK, TOWN OF HINGHAM

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

[Signature] **12/10/18**
 SHANE M. BRENNER, P.L.S. DATE



DEFINITIVE SUBDIVISION PLAN
 DOWNER ESTATES
 OFF PLANTERS FIELD LANE
 HINGHAM, MASSACHUSETTS
 PREPARED FOR: FEELEY REALTY TRUST
 232 WATER STREET
 QUINCY, MA 02169

JANUARY 23, 2019
 SCALE: AS NOTED
 JOB No. 11-098
 LATEST REVISION:
 NOVEMBER 29, 2018
 LOTTING

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LEGEND

EXISTING	DESCRIPTION	PROPOSED
	1' CONTOUR	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	BITUMINOUS CONCRETE CURB	
	STONE WALL	
	DRAIN LINE	
	SEWER LINE	
	OVERHEAD WIRE	
	GAS LINE	
	WATER LINE	
	100' WETLAND BUFFER	
	50' WETLAND BUFFER	
	WETLAND LINE	
	HYDRANT	
	WATER GATE	
	GAS GATE	
	UTILITY POLE	
	SEWER MANHOLE	
	DRAIN MANHOLE	
	CATCH BASIN	
	SIGN	
	LANDSCAPING	
	CLEANOUT	
	VERTICAL CONCRETE CURB	
	CAPE COD BERM	
	SLOPED GRANITE CURB	

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: *12-18-18*

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 17th DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 4-14-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

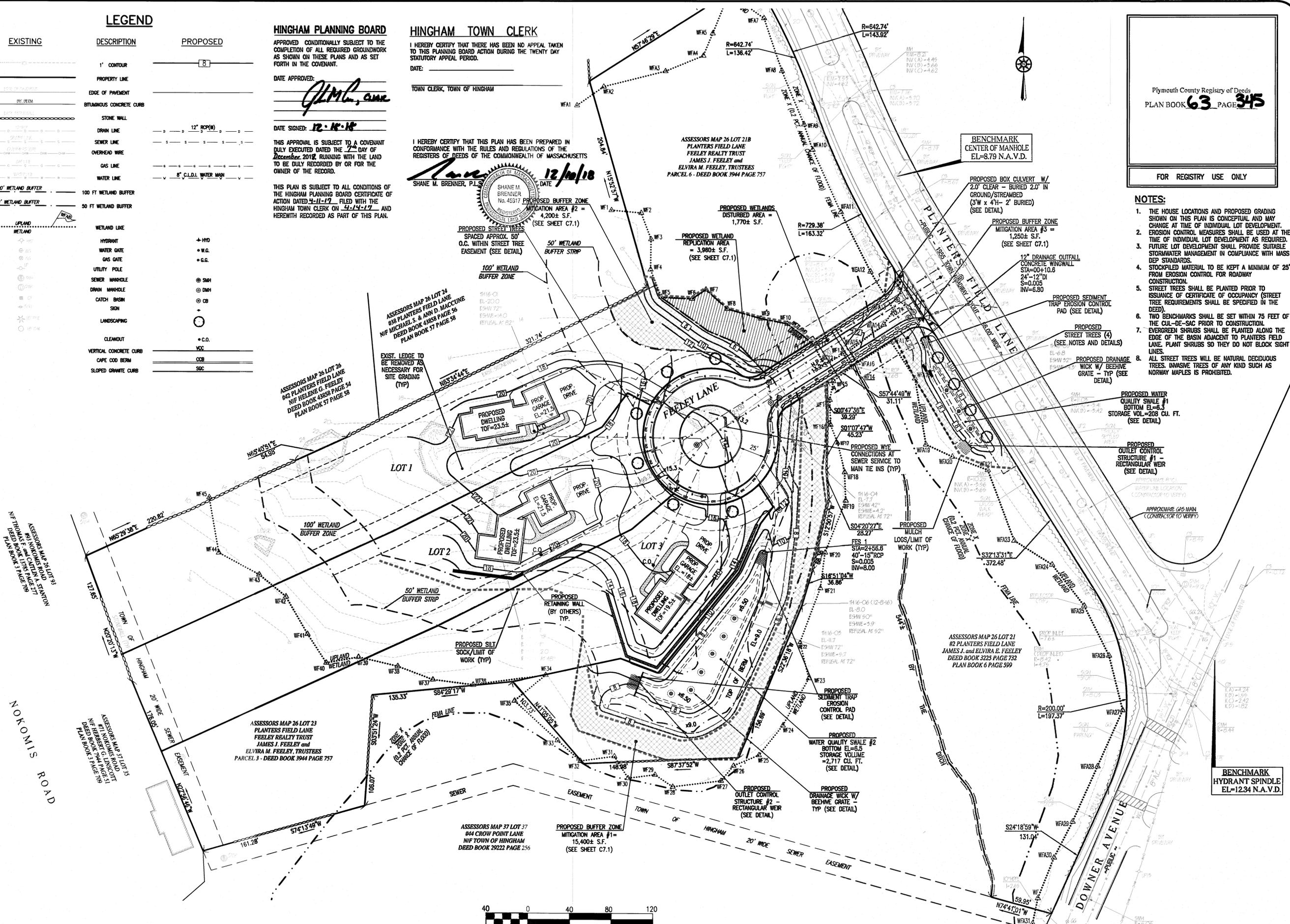
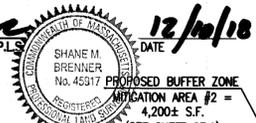
I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: *12/18/18*

TOWN CLERK, TOWN OF HINGHAM

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

SHANE M. BRENNER, P.L.S.
No. 45917



Plymouth County Registry of Deeds
 PLAN BOOK **63** PAGE **345**

FOR REGISTRY USE ONLY

- NOTES:**
1. THE HOUSE LOCATIONS AND PROPOSED GRADING SHOWN ON THIS PLAN IS CONCEPTUAL AND MAY CHANGE AT TIME OF INDIVIDUAL LOT DEVELOPMENT.
 2. EROSION CONTROL MEASURES SHALL BE USED AT THE TIME OF INDIVIDUAL LOT DEVELOPMENT AS REQUIRED.
 3. FUTURE LOT DEVELOPMENT SHALL PROVIDE SUITABLE STORMWATER MANAGEMENT IN COMPLIANCE WITH MASS DEP STANDARDS.
 4. STOCKPILED MATERIAL TO BE KEPT A MINIMUM OF 25' FROM EROSION CONTROL FOR ROADWAY CONSTRUCTION.
 5. STREET TREES SHALL BE PLANTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY (STREET TREE REQUIREMENTS SHALL BE SPECIFIED IN THE DEED).
 6. TWO BENCHMARKS SHALL BE SET WITHIN 75 FEET OF THE CUL-DE-SAC PRIOR TO CONSTRUCTION.
 7. EVERGREEN SHRUBS SHALL BE PLANTED ALONG THE EDGE OF THE BASIN ADJACENT TO PLANTERS FIELD LANE. PLANT SHRUBS SO THEY DO NOT BLOCK SIGHT LINES.
 8. ALL STREET TREES WILL BE NATURAL DECIDUOUS TREES. INVASIVE TREES OF ANY KIND SUCH AS NORWAY MAPLES IS PROHIBITED.

REVISIONS

4. 11/29/18	REVIEW COMMENTS
3. 11/20/18	CERTIFICATE OF ACTION REVISIONS
2. 4/3/17	REVIEW COMMENTS
1. 3/17/17	REVIEW COMMENTS

THOMAS A. POZERSKI
 CIVIL ENGINEER
 No. 46856
 REGISTRATION EXPIRES 12/31/2021

Thomas A. Pozerski

DRAWN BY: CMS
 DESIGNED BY: TAP/CMS
 CHECKED BY: TAP

Merrill
 Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
 26 UNION STREET, PLYMOUTH MA 02560 / T: (508) 746-8060
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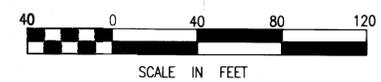
DEFINITIVE SUBDIVISION PLAN
 DOWNER ESTATES
 OFF PLANTERS FIELD LANE
 HINGHAM, MASSACHUSETTS

PREPARED FOR: FEELEY REALTY TRUST
 232 WATER STREET
 QUINCY, MA 02169

JANUARY 23, 2017
 SCALE: AS NOTED
 JOB No. 11-098
 LATEST REVISION:
 NOVEMBER 29, 2018
 GRADING/LOT DEVELOPMENT

SHEET C5.1

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(5 of 13)

19-103

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: *[Signature]*

DATE SIGNED: 12-10-18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 27th DAY OF December, 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

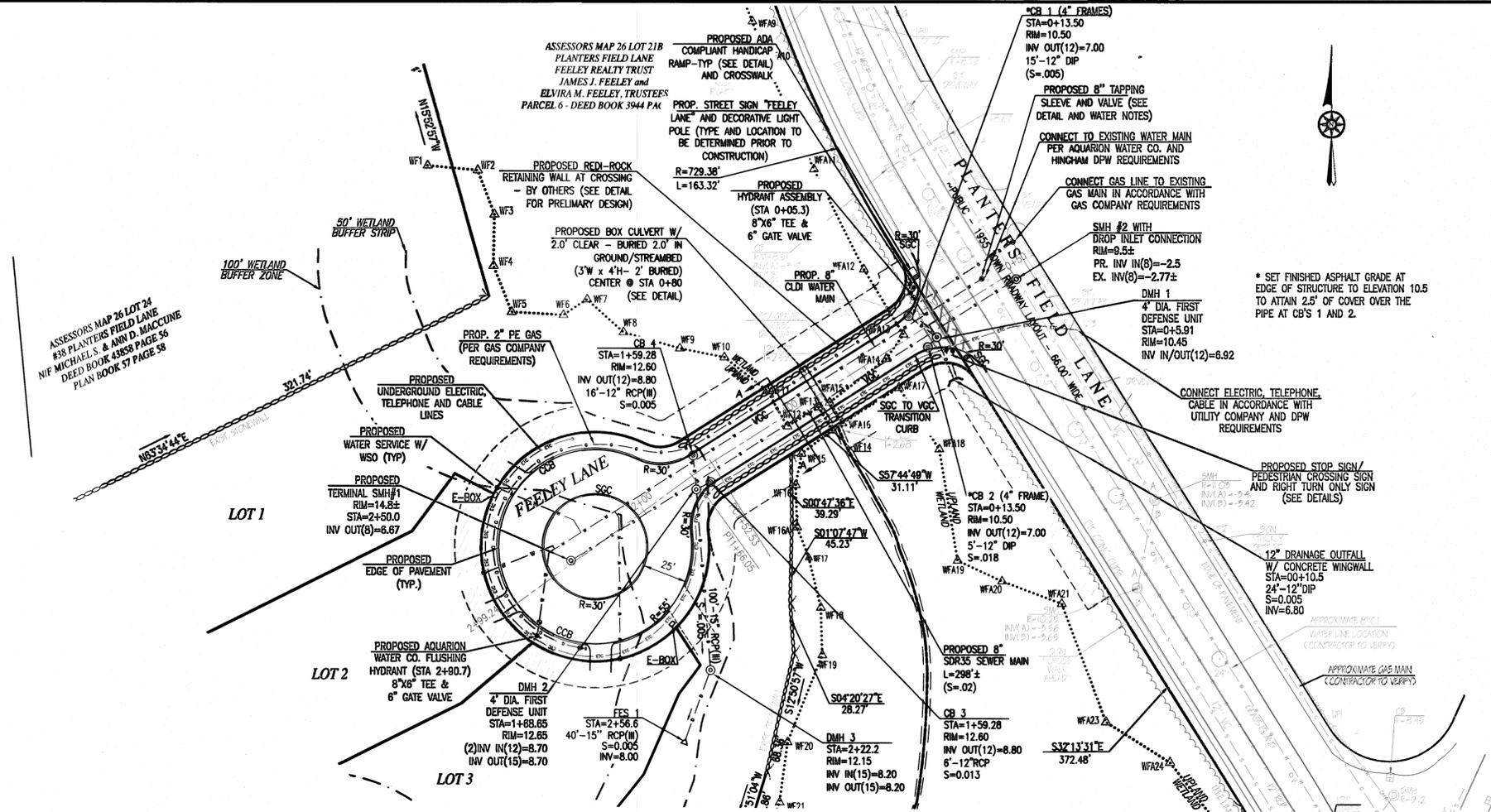
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HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

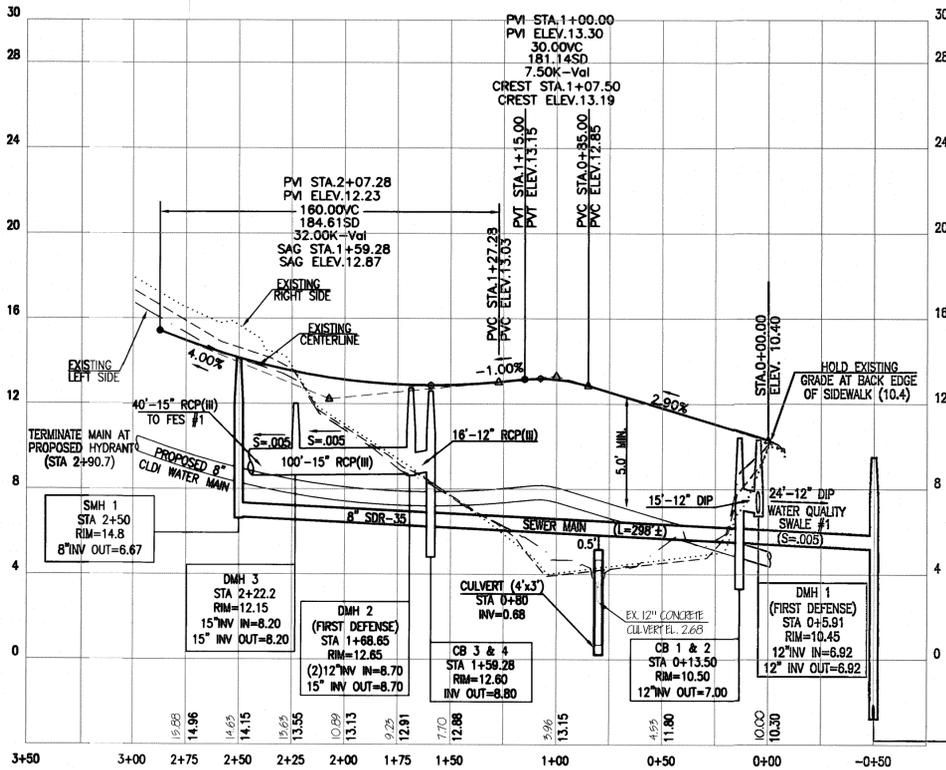
DATE: _____
TOWN CLERK, TOWN OF HINGHAM

ASSESSORS MAP 26 LOT 24
#38 PLANTERS FIELD LANE
NIP MICHAEL S. & ANN D. MACCONE
DEED BOOK 43859 PAGE 58
PLAN BOOK 57 PAGE 58



WATER NOTES:

- ALL WATER SYSTEM MATERIALS SHALL BE AS PER AQUARION WATER COMPANY SPECIFICATIONS (LATEST VERSION).
- WATER MAINS TO BE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANWA C150 AND ANWA C151, PUSH ON TYPE JOINTS WITH GASKETS CONFORMING TO ANWA C111, DOUBLE CEMENT LINES INSIDE CONFORMING TO ANWA C104, AND ASPHALT SEAL COATED OUTSIDE (CONFORMING TO ANWA 203). IN AREAS WHERE GROUNDWATER LEVELS ARE ABOVE THE PIPE LAYING DEPTH, FURNISH AND INSTALL POLYETHYLENE ENCASEMENT (TY-BOT ENHANCED POLYETHYLENE ENCASEMENT AS MANUFACTURED BY THE DUCTILE-IRON PIPE RESEARCH ASSOCIATION).
- ALL PIPE FITTINGS SHALL BE DUCTILE IRON, CLASS 350 MECHANICAL JOINT CONFORMING TO ANWA C153. ALL FITTINGS SHALL BE RESTRAINED WITH SERIES 1100 MEGALUG AS MANUFACTURED BY EBA IRON, OR APPROVED EQUAL.
- ALL GATE VALVES SHALL BE RESILIENT WEDGE SEATED VALVES CONFORMING TO ANWA C509 (MUELLER CO 2360 SERIES OR APPROVED EQUAL). VALVES SHALL HAVE CORROSION RESISTANT FUSION - BONDED INTERIOR AND EXTERIOR COATINGS. VALVES ARE TO HAVE DOUBLE O RING SEALS, A NON-RISING STEM, 2 INCH OPERATING NUT, AND BE OPEN "RIGHT" (CLOCKWISE TO OPEN). AN ARROW INDICATING THE OPENING POSITION SHALL BE CAST INTO THE OPERATING NUT.
- VALVE BOXES SHALL BE CAST IRON, ASPHALT COATED, SLIDING TYPE, ADJUSTABLE, TOGETHER WITH CAST IRON COVERS WITH THE WORD "WATER" PLAINLY CAST IN RELIEF ON THE TOP SURFACE. A MINIMUM 6" OVERLAP IS REQUIRED BETWEEN SLIDING SECTIONS. THE INSIDE DIAMETER OF THE BOTTOM SECTION SHALL BE AT LEAST 5-1/4 INCHES AND SHALL HAVE A BELLED BASE. THE TOP SECTION SHALL BE AT LEAST 6-1/8 INCHES AND HAVE TOP FLANGES. THE BOTTOM SECTION SHALL BE AT LEAST 38 INCHES IN LENGTH. THE TOP SECTION SHALL BE AT LEAST 26 INCHES IN LENGTH AND HAVE A PLAIN BOTTOM.
- TAPPING SLEEVES AND VALVES SHALL HAVE RESILIENT WEDGE GATE VALVES AS SPECIFIED ABOVE WITH THE FOLLOWING EXPECTATIONS. TAPPING SLEEVE SHALL BE MUELLER CO. STAINLESS STEEL TAPPING SLEEVE MODEL H-304SS. SLEEVES SHALL MEET ANSI/NSF 61 STANDARDS. SLEEVE OUTLET SHALL HAVE A 3/4" TESTING PORT WITH A 3/8" SPT BRASS TEST PLUG. TAPPING VALVES SHALL BE FULL PORT OPENING AND ABOVE SPECIFIED.
- HYDRANTS SHALL BE MUELLER SUPER CENTURION A-423, CONFORMING TO ANWA C502 (DRY BARREL HYDRANTS) AND PAINTED RED. FIRE HYDRANTS SHALL HAVE MECHANICAL JOINT SHOES, 3"-6" BURY (STREET LEVEL SHOULDER AREAS) OR 6"-0" BURY (RAISED SIDEWALK) AND MARKED WITH AN ARROW AND THE WORD "OPEN" TO INDICATE THE DIRECTION TO TURN THE STEM TO OPEN THE HYDRANT. HYDRANTS SHALL OPEN RIGHT (CLOCKWISE TO OPEN).
- CURB STOP BOXES SHALL BE CAST IRON ERIE TYPE WITH RECESSED LID WITH PENTAGON BOLT AND THE WORD "WATER" CAST ON TOP, AND ADJUSTABLE SLIDING TYPE WITH ARCH PATTERN. CURB STOP BOXES SHALL BE DOMESTICALLY MANUFACTURED BY MUELLER OR BINGHAM AND TAYLOR.
- DUCTILE IRON PIPE AND FITTINGS SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF ANWA C600, LATEST EDITION. WATER MAINS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER. PRESSURE TESTING SHALL CONSIST OF 200 PSI FOR 10 MINUTES AND 150 PSI FOR 2 HOURS.
- THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION MUST BE MAINTAINED FOR ALL WATER LINES AND OTHER UTILITIES: 18 INCHES VERTICAL (WATER LINE 18-INCHES ABOVE) AND 10 FEET HORIZONTAL.
- AT NO TIME SHALL A WATER MAIN OR SERVICE BE INSTALLED GREATER THAN 8 FEET BELOW FINISHED GRADE.
- WATER MAINS SHALL NOT BE INSTALLED BELOW CONCRETE PADS AND CONCRETE SIDEWALKS AND OR LANDSCAPED ISLANDS SHALL BE AVOIDED WHENEVER POSSIBLE.



Plymouth County Registry of Deeds
PLAN BOOK 63 PAGE 376
FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRARS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
SHANE M. BRENNER, P.L.S. DATE 12/10/18

- NOTES:**
- THE STREET SIGN, TRAFFIC CONTROL SIGNS AND DECORATIVE LIGHT POST SHALL BE INSTALLED SO AS TO NOT CAUSE SIGHT LINE OBSTRUCTION. ALL SIGNAGE WILL COMPLY WITH MUTCD STANDARDS.
 - FEELEY LANE'S SEWER SYSTEM IS PRIVATE.

REVISIONS

4.	11/29/18	REVIEW COMMENTS
3.	11/20/18	CERTIFICATE OF ACTION RECORDS
2.	4/3/17	REVIEW COMMENTS
1.	1/3/17/17	REVIEW COMMENTS

THOMAS A. BRENNER
REGISTERED PROFESSIONAL ENGINEER
No. 46859

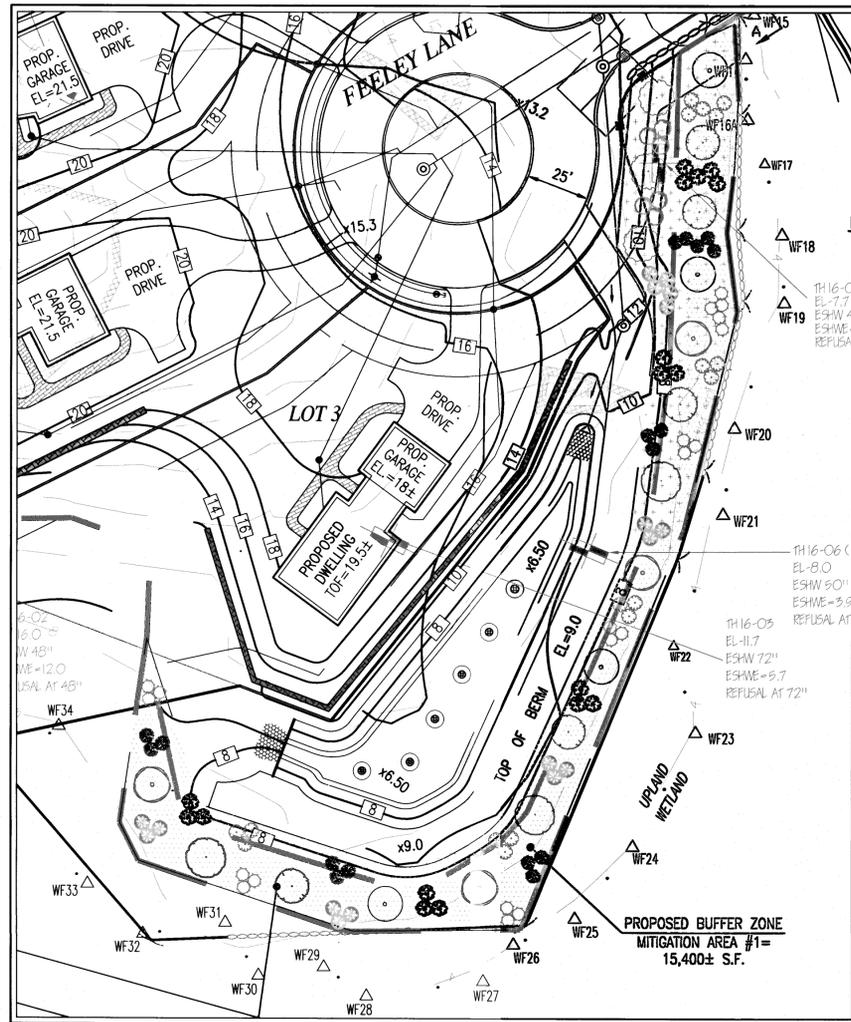
Shane M. Brenner 12/10/18

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DESIGNED BY: TAP/CMS
CHECKED BY: TAP

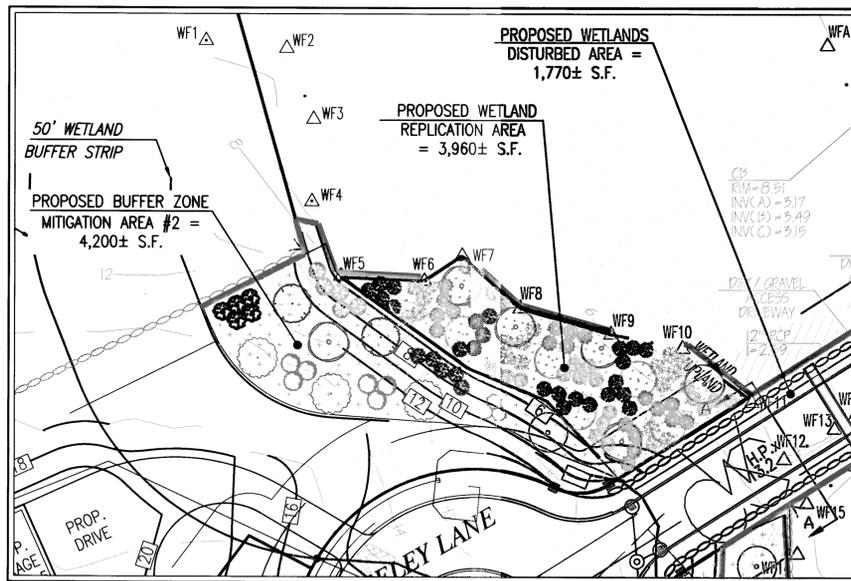
Merrill
Engineers and Land Surveyors
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26 UNION STREET, PLYMOUTH, MA 02360 / T: (508) 746-8060
WWW.MERRILLINC.COM

DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS
PREPARED FOR: FEELEY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

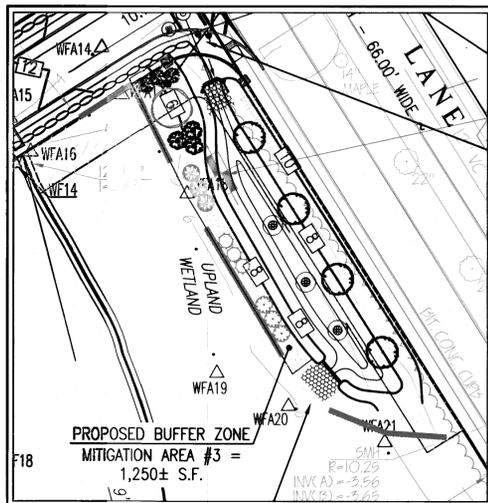
JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION:
NOVEMBER 29, 2018
PLAN AND PROFILE



BUFFER ZONE MITIGATION AREA #1
(SCALE: 1"=30')



WETLAND REPLICATION AREA & BUFFER ZONE MITIGATION AREA #2
(SCALE: 1"=30')



WETLAND MITIGATION AREA #3
(SCALE: 1"=30')

Notes:

- All plantings shall be native varieties with no landscape cultivars proposed.
- Specific placement of shrubs and trees within the planting area are approximate and may be adjusted in the field.
- The proposed mitigation work activity shall be monitored by a Wetland Scientist.
- If necessary, any required substitute native shrubs or trees shall be reviewed by the Wetland Scientist prior to installation. Proposed plantings shall be inspected on-site by the Wetland Scientist prior to installation within the replication area.
- Implementation of a watering schedule for the plantings is recommended to ensure establishment.
- Any temporary disturbed areas associated with the wetland crossing shall be restored with a Native Wetland Seedmix.

Buffer Zone Restoration Area:

- If topsoil is absent, approximately 4-6 inches of topsoil (leaf compost and loam mixture) shall be established within the Buffer Zone planting areas.
- Biodegradable netting is recommended on slopes (e.g. 3:1 or greater) within the Restoration Area where applicable or as recommended by the Wetland Scientist Monitor.
- The proposed native seedmixes shall be lightly raked into the surface and applied according to the suppliers instructions.
- A one time application of leaf compost mulch shall be applied to the drip line of the installed shrubs and trees.
- Existing invasive species in the understory shall be cleared where applicable within the Buffer Zone Restoration Area prior to installing plantings.
- Existing trees and native shrubs shall be preserved to the extent practical within the Buffer Zone Mitigation Area.
- The actual number and location of saplings to be planted may be revised based on analysis of the existing adjacent tree cover. If fewer saplings are planted, additional shrubs will be planted to fill any gaps in the understory.

Wetland Replication

- The limits of the Wetland Replication Area shall be staked in the field prior to construction and certified to be accurately located by a PLS.
- Mechanical equipment will be used to excavate to a sub-grade elevation approximately 12-inches below the proposed final elevations. Final elevations shall mimic existing grades within the adjacent wetland, and be reviewed by the Wetland Scientist to ensure adequate interception of hydrology.
- Approximately 12 inches of organic top soil shall be established in the Wetland Replication Area.
- The proposed soil shall be comprised of clean leaf compost and loam mixture, and shall have approximately 20% organic matter content. The soil shall be inspected by the Wetland Scientist before placement in the replication area.
- Pit and mound micro-topography shall be established in the Wetland Replication Area under the oversight of the Wetland Scientist.
- The native seedmix used shall be approved by the monitoring Wetland Scientist prior to spreading the mix.
- The Wetland Replication Area will be monitored during and following construction, including at the end of the first and second growing seasons by a qualified Wetland Scientist.
- Monitoring reports describing the relative health of the plantings will be submitted to the Conservation Commission with photographic documentation and recommendations for supplemental plantings, if necessary. The monitoring will include an assessment of the density of the vegetation to ensure 75% coverage by wetland indicator plants within two growing seasons. It is anticipated that opportunistic invasive wetland plants may enter and colonize the planting area; however, efforts will be made to discourage colonization by exotic invasives to the extent practicable.

New England Showy Wildflower Mix
(Application Rate: 23 Bu./Ac. (1905 Sq. Ft./Ac.))

SPECIES Little Bluestem (*Schizachyrium scoparium*), Creeping Red Fescue (*Festuca rubra*), Indian Grass (*Sorghastrum nutans*), Partridge Pea (*Chamaecrista fasciculata*), Showy Tick Trefoil (*Desmodium canadense*), Canada Wild Rye (*Elymus canadensis*), Virginia Wild Rye (*Elymus virginicus*), Common Milkweed (*Asclepias syriaca*), Beard Tongue (*Penstemon digitalis*), Golden Alexanders (*Zizia aurea*), Black Eyed Susan (*Rudbeckia hirta*), Lance Leaved Coreopsis (*Carex lanceolata*), Ox Eye Sunflower (*Heliopsis scabra*), Common Sneezeweed (*Helenium autumnale*), Marsh Blazing Star (*Liatris spicata*), Cup Plant (*Siphium perfoliatum*), Blue Vervain (*Verbena hastata*), Smooth Blue Aster (*Aster laevis*), New England Aster (*Aster novae-angliae*), Wild Blue False Indigo (*Baptisia australis*), Spotted Joe Pye Weed (*Eupatorium maculatum*), Grass Leaved Goldenrod (*Euthamia graminifolia*), Wild Bergamot (*Monarda fistulosa*), Evening Primrose (*Oenothera biennis*), Ohio Spiderwort (*Tradescantia ohioensis*), Early Goldenrod (*Solidago juncea*).

New England Semi-Shadow Grass and Forbs Mix
(Application Rate: 30 Bu./Ac. (1470 Sq. Ft./Ac.))

Riverbank Wild Rye (*Elymus riparius*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Canada Wild Rye (*Elymus canadensis*), Bottlebrush Grass (*Elymus lysurus*), Upland Bentgrass (*Agrostis perennis*), Partridge Pea (*Chamaecrista fasciculata*), Beard Tongue (*Penstemon digitalis*), Golden Alexanders (*Zizia aurea*), Ohio Spiderwort (*Tradescantia ohioensis*), Heath Aster (*Aster pilosus*), Big Leaf Aster (*Aster macrophyllus*), White Avens (*Geum canadense*), Wild Bergamot (*Monarda fistulosa*), Blue Stem/Woodland Goldenrod (*Solidago caesia*).

New England Wetmix
(Application Rate: 15 Bu./Ac. (1125 Sq. Ft./Ac.))

fox sedge
hop sedge
lurid sedge
bearded sedge
blunt broom sedge
swamp milk weed
noddling bur-marigold
blue flag iris
flat-topped aster
soft-stem bulrush
soft rush
green bulrush
cardinal flower
monkey flower
woolgrass
spotted joe-pye weed
blue vervain
sensitive fern

Carex vulpinoidea
Carex lupulina
Carex lurida
Carex comosa
Carex scoparia
Asclepias incarnata
Bidens cernua
Iris versicolor
Aster umbellatus
Scirpus validus
Juncus effusus
Scirpus atrovirens
Lobelia cardinalis
Mimulus ringens
Scirpus cyperinus
Eupatorium maculatum
Verbena hastata
Oenothera sensibilis

Common Name	Genus/Species	Size	Planting Specifications	No.
Trees				
tulip tree	<i>Liriodendron tulipifera</i>	4-6' min.	singles, 10-20 feet o.c.	6
black gum	<i>Nyssa sylvatica</i>	4-6' min.	singles, 10-20 feet o.c.	10
green ash	<i>Fraxinus pennsylvanica</i>	4-6' min.	singles, 10-20 feet o.c.	6
alternate-leaved dogwood	<i>Cornus alterniflora</i>	4-6' min.	singles, 10-20 feet o.c.	7
eastern redbud	<i>Cercis Canadensis</i>	4-6' min.	singles, 10-20 feet o.c.	5
northern red oak	<i>Quercus rubra</i>	4-6' min.	singles, 10-20 feet o.c.	3
Shrubs				
American hazelnut	<i>Corylus americana</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	26
mapleleaf viburnum	<i>Viburnum acerifolium</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	20
gray dogwood	<i>Cornus racemosa</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	48
highbush blueberry	<i>Vaccinium corymbosum</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	24
witchhazel	<i>Hamamelis virginiana</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	25
swamp azalea	<i>Rhododendron viscosum</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	19
wild raisin	<i>Viburnum cassinoides</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	18
serviceberry	<i>Amelanchier canadensis</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	25
beach plum	<i>Prunus maritima</i>	2-3' min.	clusters 3-5, 4-6 feet o.c.	12

Total: 254

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED:

Shane M. Brenner

DATE SIGNED: 12-10-18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 27th DAY OF December, 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 5-12-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

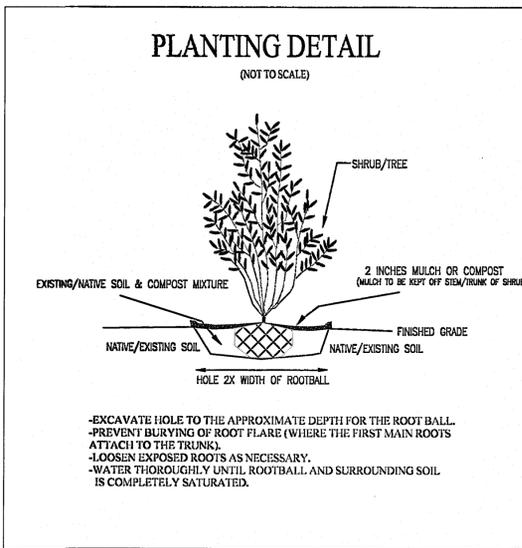
I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: 12-17-2019

Cecilia A. McCracken
TOWN CLERK, TOWN OF HINGHAM

PREPARED BY:

LEC
Environmental Consultants, Inc.



REVISIONS

4. 11/29/18	REVIEW COMMENTS
3. 11/20/18	CERTIFICATE OF ACTION REVISIONS
2. 4/3/17	REVIEW COMMENTS
1. 3/17/17	REVIEW COMMENTS



THOMAS A. POWERS
PROFESSIONAL ENGINEER
DRAWN BY: CMS

DESIGNED BY: TAP/CMS

CHECKED BY: TAP

Plymouth County Registry of Deeds
PLAN BOOK 63 PAGE 347

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I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
SHANE M. BRENNER, P.L.S. DATE: 12/10/18



Merrill
Engineers and Land Surveyors
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26 UNION STREET, PLYMOUTH MA 02560 / T: (508) 746-8080
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DEFINITIVE SUBDIVISION PLAN

DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS
PREPARED FOR: FEELY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017

SCALE: AS NOTED

JOB No. 11-098

LATEST REVISION:
NOVEMBER 29, 2018

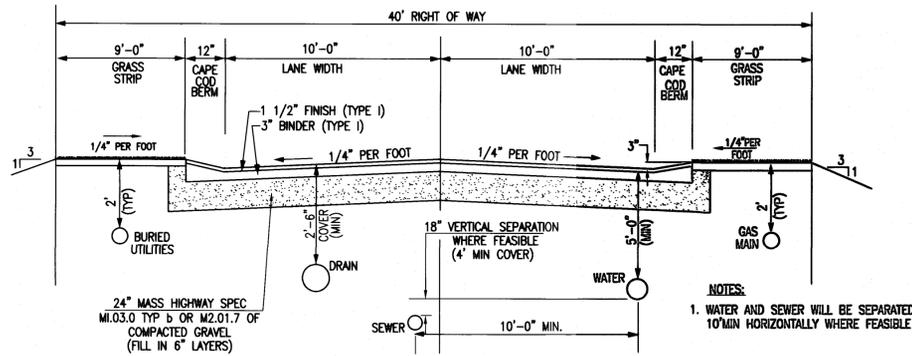
WETLAND PLAN

SHEET C7.1

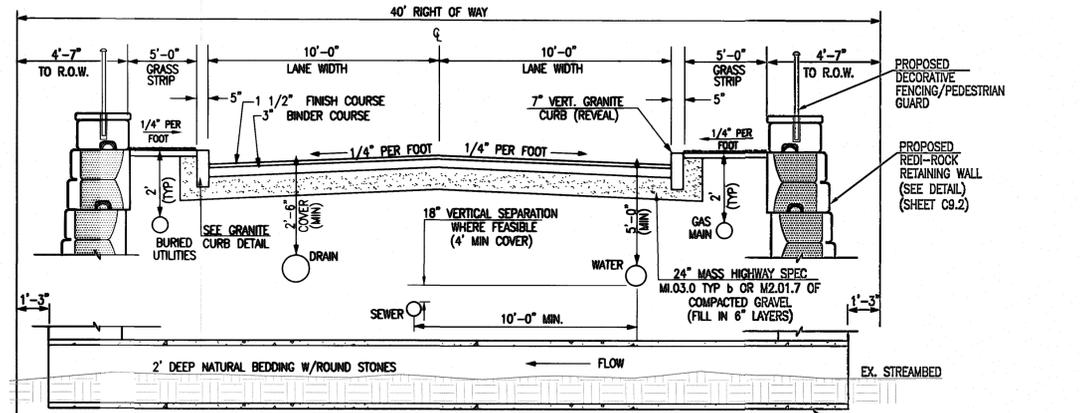
(7 of 13)

19-103

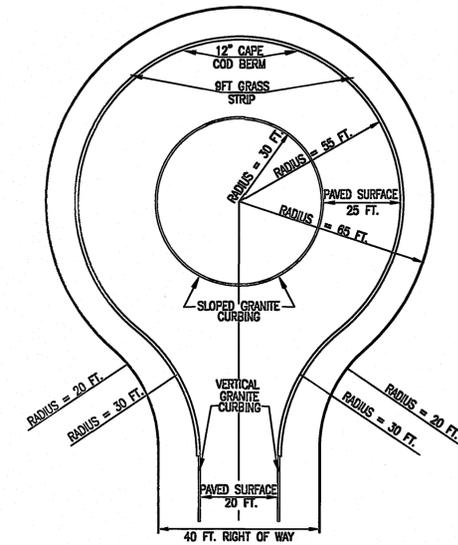
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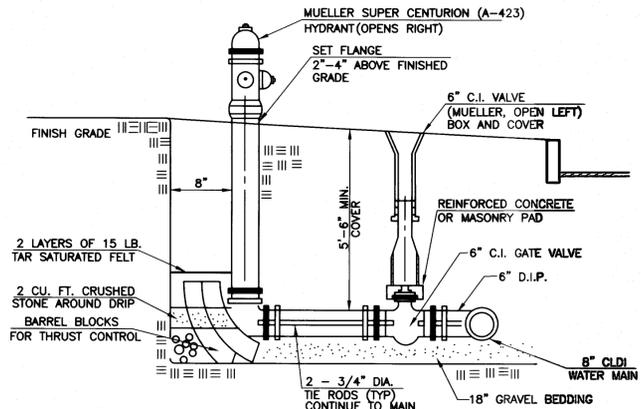
TYPICAL ROADWAY SECTION (PRIVATE LOCAL ROADWAY)
(NOT TO SCALE)



TYPICAL ROADWAY SECTION (STA 0+10 TO 1+60)
(NOT TO SCALE)

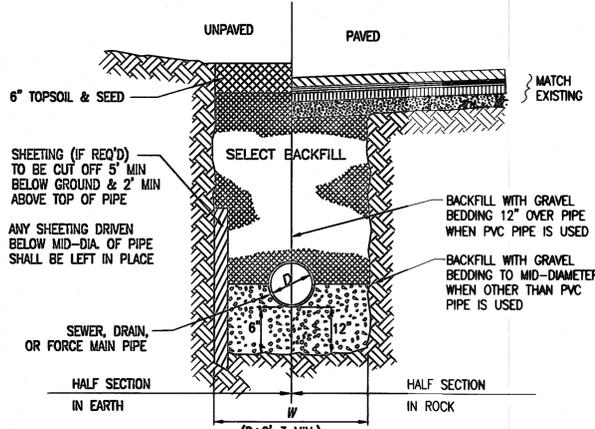


PRIVATE LOCAL ROADWAY CUL-DE-SAC CUL-DE-SAC DETAIL (SEE PLAN)
(NOT TO SCALE)

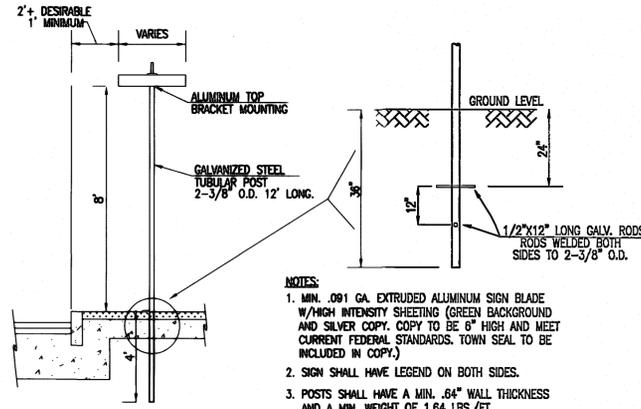


HYDRANT DETAIL
(NOT TO SCALE)

- NOTES:
- MEGA-LUGS ARE TO BE USED ON ALL TIE RODS AND MECHANICAL JOINTS
 - CONTRACTOR SHALL VERIFY ALL WATERMAIN, SERVICE, AND APPURTENANCE PROCEDURES, FEES AND METHODS WITH AQUARIUM WATER CO. PRIOR TO PURCHASING ANY MATERIALS OR CONSTRUCTION
 - BARRELL SECTION SHALL BE 5-1/4" DIAMETER
 - PROVIDE TWO (2) 2-1/2" HOSE NOZZLES AND ONE (1) 4-1/2" PUMPER OUTLET.
 - ALL COMPONENTS SHALL COMPLY WITH ANWA C502.

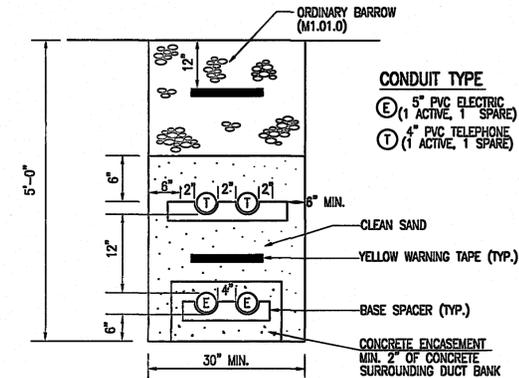


TYPICAL UTILITY TRENCH
(NOT TO SCALE)



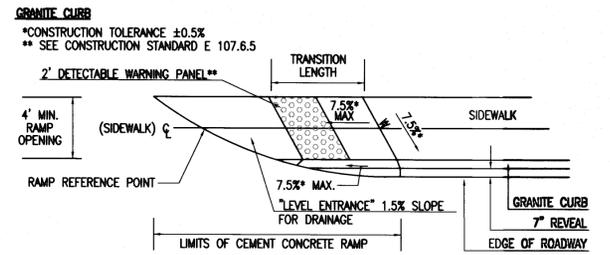
STREET SIGN DETAIL
(NOT TO SCALE)

- NOTES:
- MIN. .091 GA. EXTRUDED ALUMINUM SIGN BLADE W/HIGH INTENSITY SHEETING (GREEN BACKGROUND AND SILVER COPY. COPY TO BE 6" HIGH AND MEET CURRENT FEDERAL STANDARDS. TOWN SEAL TO BE INCLUDED IN COPY.)
 - SIGN SHALL HAVE LEGEND ON BOTH SIDES.
 - POSTS SHALL HAVE A MIN. .64" WALL THICKNESS AND A MIN. WEIGHT OF 1.64 LBS./FT.
 - STREET SIGNS ARE REQUIRED TO BE INSTALLED BY THE DEVELOPER, FOLLOWING THE INSTALLATION OF THE BASE COURSE OF THE ROADWAY.
 - ALL SIGNS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ALL WAYS ARE ACCEPTED BY THE TOWN.
 - STREET SIGN SHALL BE INSTALLED SO AS TO NOT CAUSE A SIGHTLINE CONCERN.

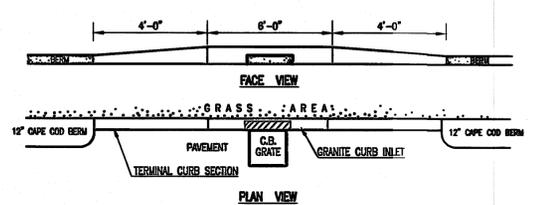


COMMON TRENCH DETAIL ELECTRIC/TELEPHONE/FIRE ALARM/CABLE
NOT TO SCALE

NOTE:
ELECTRIC/TELEPHONE/CABLE LOCATIONS AND DETAILS SHOWN ON THIS PLAN SET ARE NOT INTENDED FOR CONSTRUCTION PURPOSES. INDIVIDUAL UTILITY PROVIDERS SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACTUAL INFRASTRUCTURE INCLUDING LOCATIONS OF HANDHOLES, VAULTS, ETC. THE CONTRACTOR SHALL COORDINATE INSTALLATION WITH UTILITY PROVIDERS AND THE TOWN OF HINGHAM DPW.

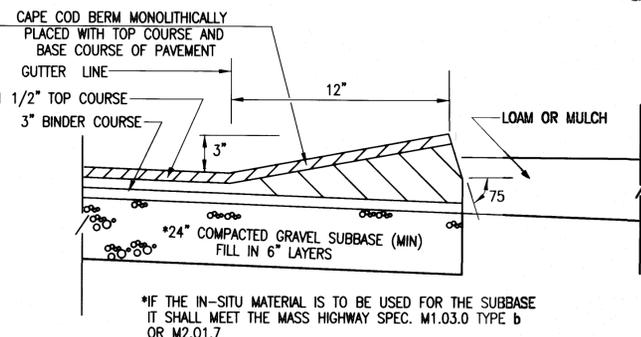


HANDICAP RAMP DETAIL
(NOT TO SCALE)

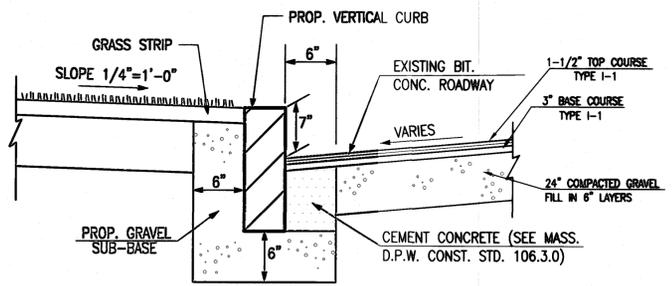


TYPICAL GRANITE CURB INLET INSTALLATION WITH CAPE COD BERM
(NOT TO SCALE)

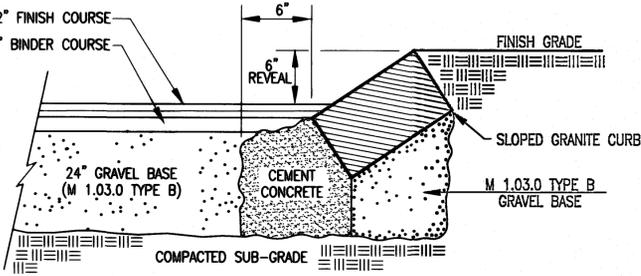
- NOTES:
- GRANITE CURB INLETS ARE REQUIRED ON ALL CATCH BASINS
 - PROVIDE GRANITE CURB INLETS FOR EACH NEW CATCH BASIN CONSTRUCTED



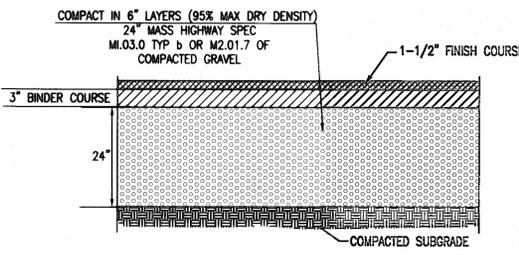
CAPE COD BERM DETAIL
(NOT TO SCALE)



VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)



SLOPED GRANITE CURB
(NOT TO SCALE)



BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)

- NOTE:
- ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH CLEAN GRAVEL BASE (95% COMPACTION)
 - ALL DRIVEWAY AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS SPECIFICATIONS.

Plymouth County Registry of Deeds
PLAN BOOK **63** PAGE **348**

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I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

SHANE M. BRENNER, P.L.S.
DATE: 12/10/18

HINGHAM PLANNING BOARD
APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: *[Signature]*
DATE SIGNED: 12-11-18

THIS APPROVAL IS SUBJECT TO A COVENANT QUILY EXECUTED DATED THE 2nd DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

HINGHAM TOWN CLERK
I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: 12/11/18
SHANE M. BRENNER
TOWN CLERK, TOWN OF HINGHAM

REVISIONS

4. 11/29/18	REVIEW COMMENTS
3. 11/20/18	CERTIFICATE OF ACTION REASONS
2. 4/3/17	REVIEW COMMENTS
1. 13/17/17	REVIEW COMMENTS

THOMAS A. POZERSKI
CH. No. 4855
REGISTERED PROFESSIONAL ENGINEER

Thomas A. Pozerski

DRAWN BY: CMS
DESIGNED BY: TAP/CMS
CHECKED BY: TAP

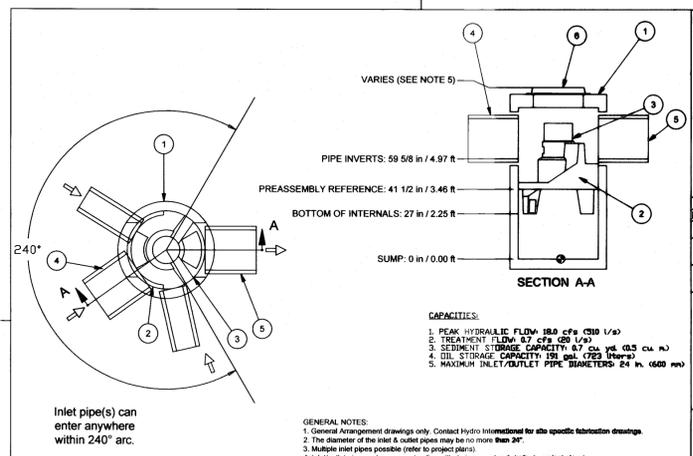
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DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS

PREPARED FOR: FEELY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION: NOVEMBER 29, 2018

CONSTRUCTION DETAILS
SHEET C8.1



NOTE:
 1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
 2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
 3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO SETTING DEPTH.
 4. PROVIDE DATE DESCRIPTION REVISION HISTORY

Date: 11/28/14 Scale: 1/4" = 1'-0"
 Drawn: RC Checked: Approved: [Signature]
 Title: 4" DIAMETER FIRST DEFENSE

Hydro International
 Stormwater Solutions
 94 Hutchins Drive
 Portland, Maine 04102
 Tel: (207) 756-6200
 Fax: (207) 756-6212
 stormwater@hydro-int.com

CAD Ref: F4C-MAX
 Project No: 22-022
 Drawing No: F4C81 Rev. A

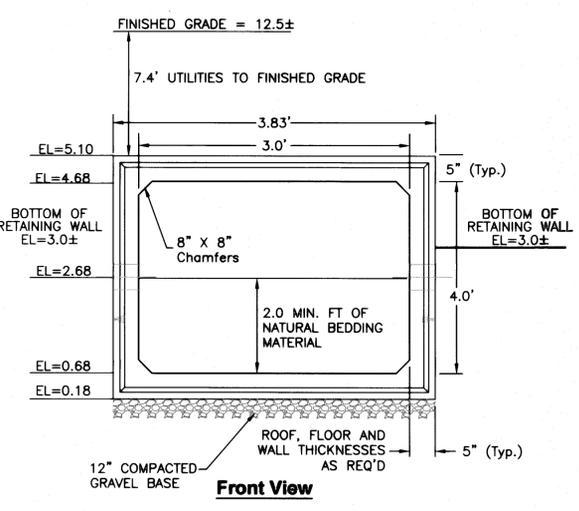
Parts List

ITEM	SIZE (in)	DESCRIPTION
1	48	I.D. PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEPARATION MODULE
4	12	INLET PIPE (BY OTHERS)
5	18	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (ROUND)

Capacities:
 1. PEAK HYDRAULIC FLOW: 18.0 cfs @ 1.5 ft
 2. TREATMENT FLOW: 0.7 cfs @ 1.5 ft
 3. STORAGE CAPACITY: 17.0 cfs @ 1.5 ft (3.0 cu ft)
 4. OIL STORAGE CAPACITY: 191 gal. @ 1.5 ft (2.0 cu ft)
 5. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. @ 1.5 ft

GENERAL NOTES:
 1. General Arrangement drawings only. Contact Hydro International for site specific fabrication drawings.
 2. The diameter of the steel & casted pipes may be no more than 2"
 3. Multiple inlet pipes possible (refer to project plans)
 4. Introduce pipe angle can vary to align with drainage network (refer to project plans)
 5. Peak flow rate and minimum height limited by available cover and pipe diameter.
 6. Larger sediment storage capacity may be provided with a deeper sump depth.

PRODUCT SPECIFICATIONS:
 A. The treatment system shall use an indicated water to separate pollutants from stormwater runoff.
 B. The treatment system shall fit within the limits of excavation areas and depth as shown in the project plans and will not exceed the dimensions for the design flow rates specified.
 C. The treatment system shall remove greater than or equal to 80% of TSS based on the Tappan Particle Size (TSS) of 100 microns and/or 80% of TSS based on the TSS of 200 microns and/or 80% of TSS based on the TSS of 400 microns.
 D. The treatment system shall convey the Peak On-site Flow Rates of up to 18 cfs without causing upstream surcharge conditions. Full-scale independent laboratory scale testing shall demonstrate efficient removal of less than or equal to 5 mg/L for all flows up to 200% of MFR-100.
 E. The treatment system shall be capable of capturing and retaining fine oil and solid size particles. Analysis of captured sediment from full-scale field installations shall demonstrate particles sizes predominantly in the 25-micron range.



REINFORCED CONCRETE BOX CULVERT DETAIL
 (NOT TO SCALE)
 BY OLD CASTLE PRECAST OR APPROVED EQUAL

Plymouth County Registry of Deeds
 PLAN BOOK **63** PAGE **349**

FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

Shane M. Brenner, P.L.S. 12/10/18 DATE

SHANE M. BRENNER
 No. 45917
 REGISTERED PROFESSIONAL LAND SURVEYOR

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: [Signature]
 DATE SIGNED: 12-18-18

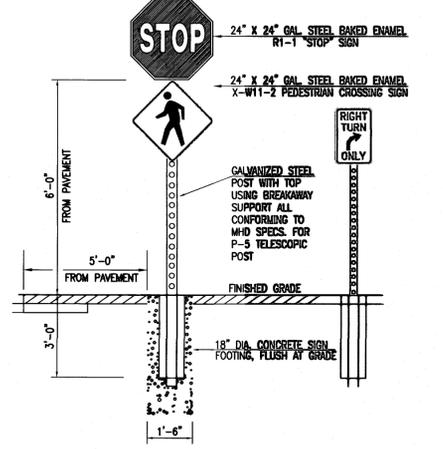
THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 2nd DAY OF December, 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17, FILED WITH THE HINGHAM TOWN CLERK ON 4-11-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

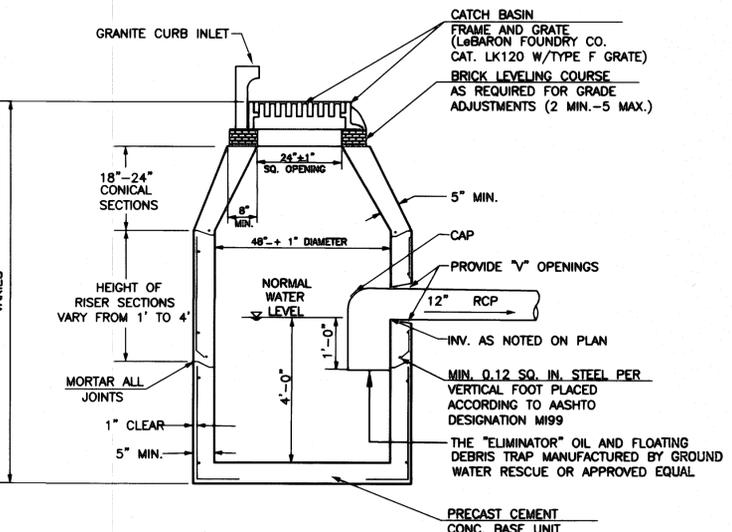
I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: 5/17/2019
 Cecelia J. MacCracken
 TOWN CLERK, TOWN OF HINGHAM

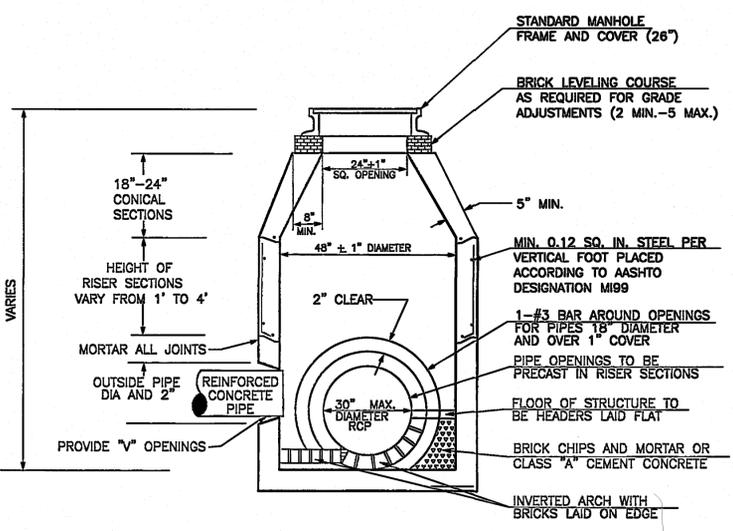


SIGN DETAILS (STOP, PED XING, RIGHT TURN ONLY)
 (NOT TO SCALE)

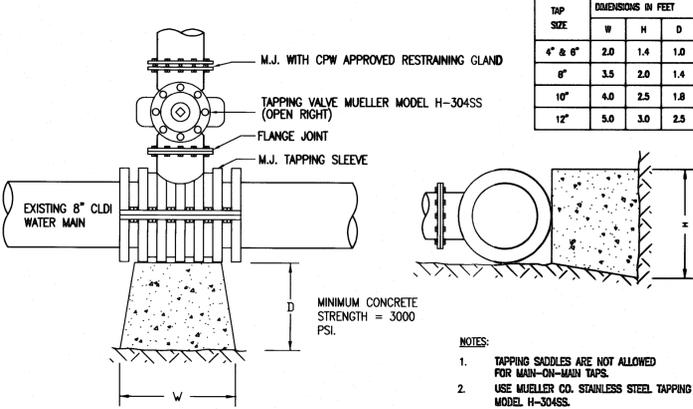
NOTE:
 1. ALL SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.



PRECAST GASOLINE TRAP CATCH BASIN
 (NOT TO SCALE)

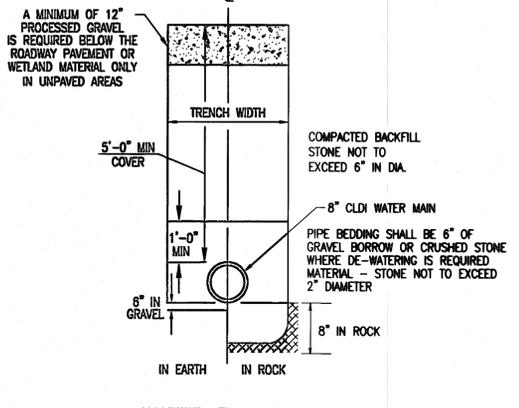


PRECAST CONCRETE MANHOLE
 (NOT TO SCALE)

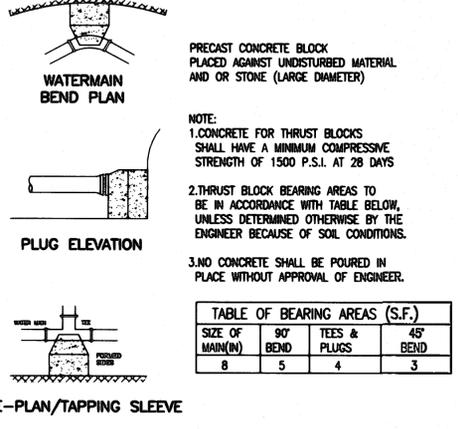


TAPPING SLEEVE DETAIL
 (NOT TO SCALE)

CONSULT AQUARION WATER CO. PRIOR TO PURCHASING ANY WATER MAIN OR SERVICE MATERIALS. COMPLETE INSTALLATION IN ACCORDANCE TO AQUARION REQUIREMENTS.



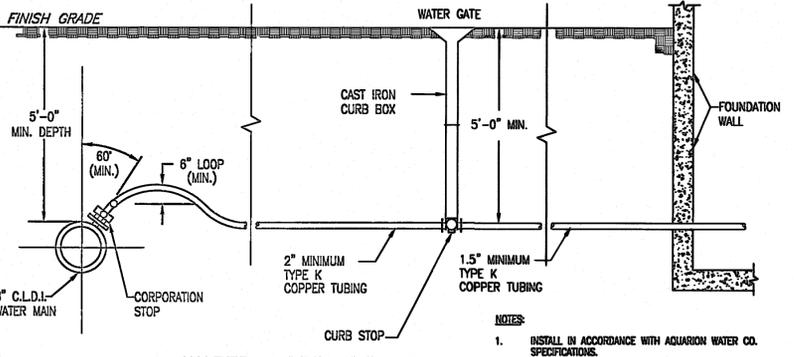
WATER TRENCH DETAIL
 (NOT TO SCALE)



THRUST BLOCK DETAILS
 (NOT TO SCALE)

TABLE OF BEARING AREAS (S.F.)

SIZE OF MAIN (IN)	90° BEND	TEES & PLUGS	45° BEND
8	5	4	3



WATER SERVICE DETAIL
 (NOT TO SCALE)

REVISIONS

NO.	DATE	REVISION
4	11/29/18	REVIEW COMMENTS
3	11/20/18	CERTIFICATE OF ACTION REVISIONS
2	4/3/17	REVIEW COMMENTS
1	1/3/17/17	REVIEW COMMENTS

THOMAS POZERSKI
 CIVIL ENGINEER
 No. 48859
 REGISTERED

THOMAS POZERSKI

DRAWN BY: CMS
 DESIGNED BY: TAP/CMS
 CHECKED BY: TAP

Merrill
 Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
 26 UNION STREET, PLYMOUTH, MA 02360 / T: (508) 746-6060
 WWW.MERRILLINC.COM

DEFINITIVE SUBDIVISION PLAN
 DOWNER ESTATES
 OFF PLANTERS FIELD LANE
 HINGHAM, MASSACHUSETTS

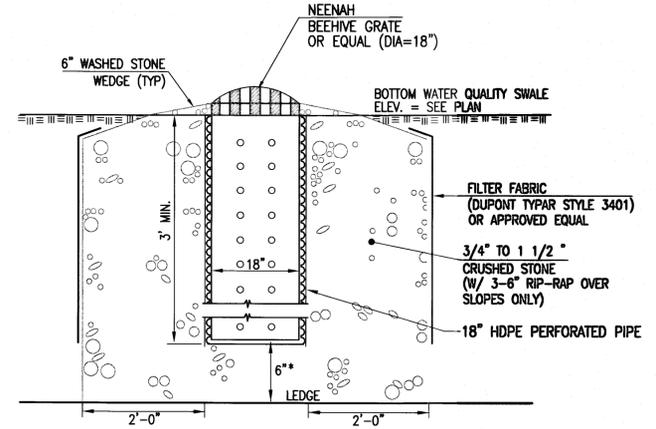
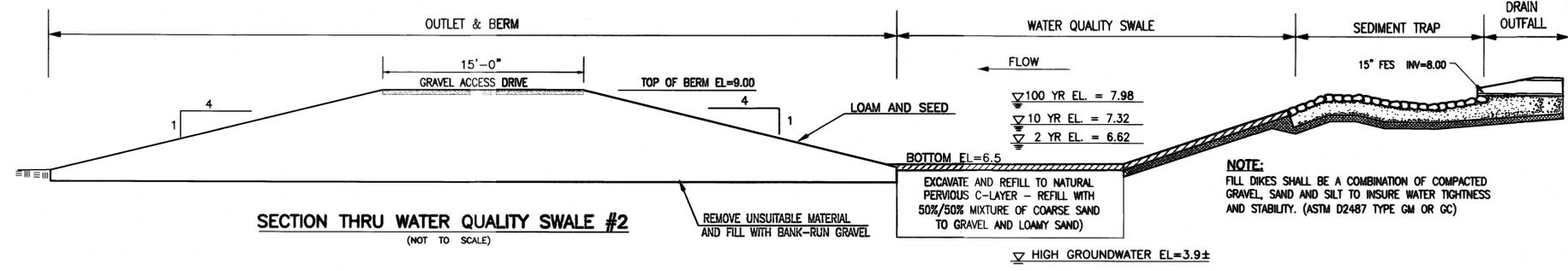
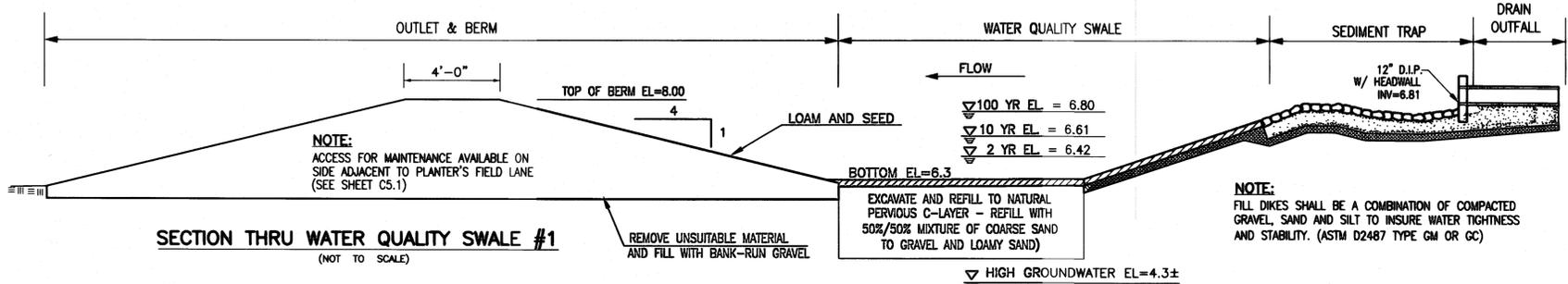
PREPARED FOR: FEELY REALTY TRUST
 232 WATER STREET
 QUINCY, MA 02169

JANUARY 23, 2017
 SCALE: AS NOTED
 JOB No. 11-098
 LATEST REVISION:
 NOVEMBER 29, 2018

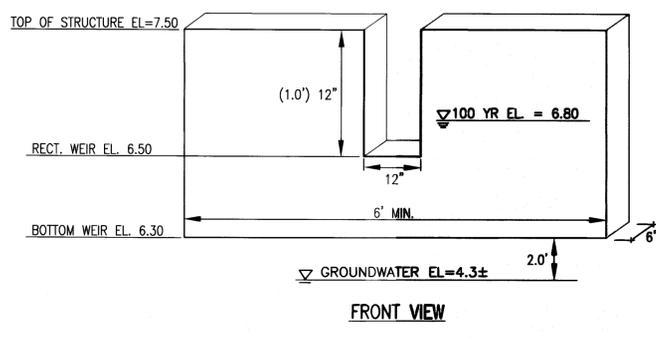
CONSTRUCTION DETAILS

(9413)

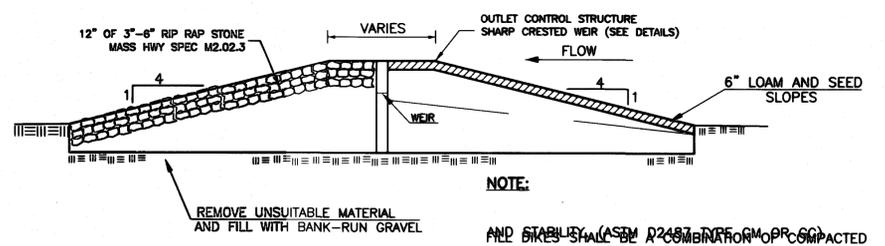
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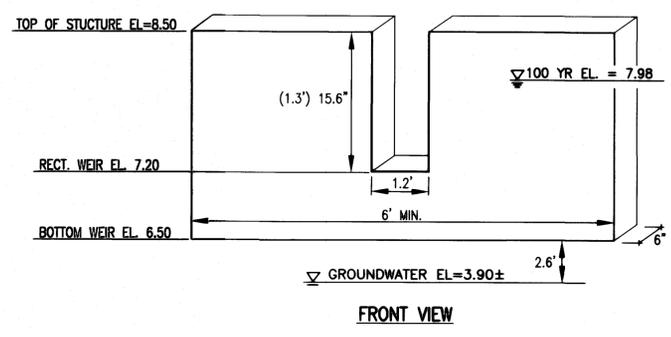
DRAINAGE WICK FOR WATER QUALITY SWALES
 SECTION VIEW (NOT TO SCALE)
 NOTE:
 1. SEE PLAN FOR DRAINAGE WICK LOCATIONS. (9 TOTAL)
 2. BOTTOM OF WICK TO EXTEND A MINIMUM OF 6" INTO PERVIOUS C-LAYER (C-LAYER IN TH16-06 OR C2 LAYER IN TH16-05)



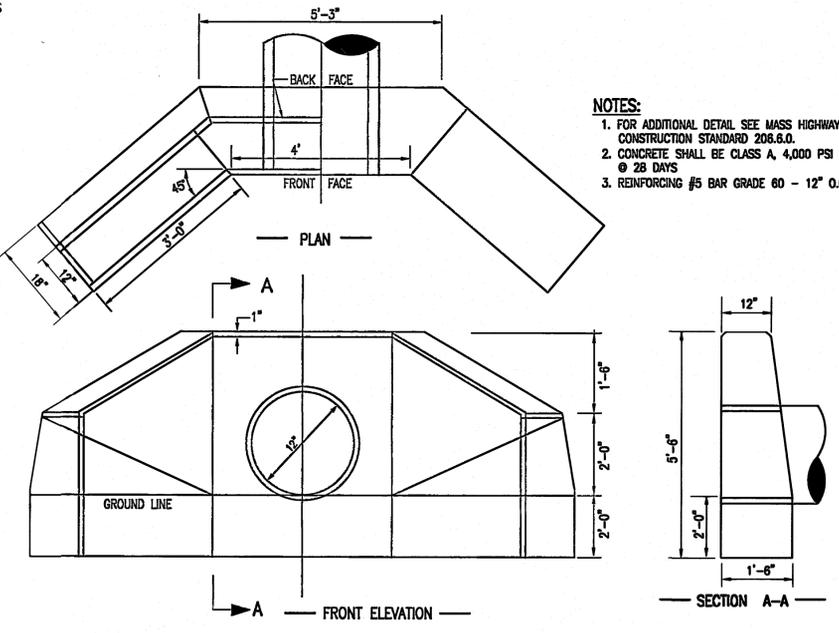
OUTLET CONTROL STRUCTURE POND#1
 RECTANGULAR WEIR
 (NOT TO SCALE)



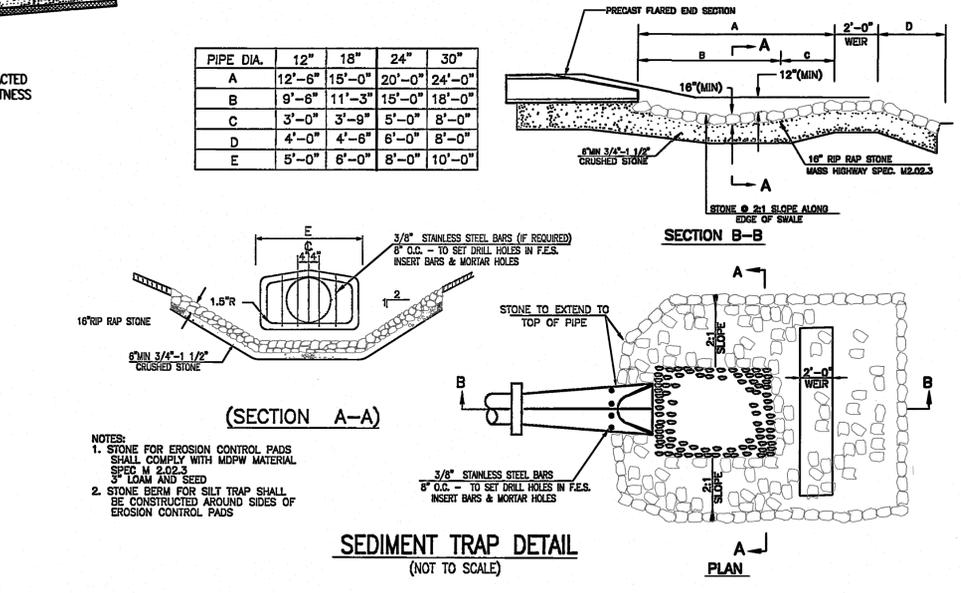
EMERGENCY SPILLWAY DETAIL
 (NOT TO SCALE)



OUTLET CONTROL STRUCTURE POND#2
 RECTANGULAR WEIR
 (NOT TO SCALE)



DETAIL-CONCRETE WINGWALL
 STA 0+10.5, 35' LT
 (NOT TO SCALE)



SEDIMENT TRAP DETAIL
 (NOT TO SCALE)
 NOTES:
 1. STONE FOR EROSION CONTROL PADS SHALL COMPLY WITH MDWP MATERIAL SPEC M 2.02.3
 2. STONE BERM FOR SILT TRAP SHALL BE CONSTRUCTED AROUND SIDES OF EROSION CONTROL PADS

WATER QUALITY SWALE NOTES
 1. INSTALL AND MAINTAIN WATER QUALITY SWALES IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE PLAN.
 2. AFTER FINAL GRADE OF WATER QUALITY SWALE IS ESTABLISHED CONTRACTOR SHALL PREVENT CONSTRUCTION TRAFFIC OVER ALL INFILTRATION SURFACES.
 3. CONTRACTOR SHALL NOT DISCHARGE SEDIMENT-LADEN WATER INTO WATER QUALITY SWALE.
 4. WATER QUALITY SWALE SHALL NOT BE PLACED INTO OPERATION PRIOR TO INSTALLATION OF PAVEMENT AND STABILIZATION OF ALL SURFACES CONTRIBUTING TO CLOSED DRAINAGE SYSTEM.
 5. EXCAVATE ALL MATERIAL BELOW WATER QUALITY SWALE DOWN TO NATURAL PERMEABLE SOIL. REPLACE WITH REPLACE WITH A 50/50 MIX OF LOAMY SAND AND COARSE SAND/GRAVEL. TREAT THE BOTTOM OF THE WATER QUALITY SWALES WITH 4" OF SANDY LOAM AND SEED.

Plymouth County Registry of Deeds
 PLAN BOOK 63 PAGE 350
 FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
 SHANE M. BRENNER, P.L.S. 12/10/18
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 45917

HINGHAM PLANNING BOARD
 APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.
 DATE APPROVED: [Signature]
 DATE SIGNED: 12-18-18
 THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 2ND DAY OF DECEMBER 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.
 THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 5-14-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK
 I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.
 DATE: JAN 17 2019
 TOWN CLERK, TOWN OF HINGHAM

REVISIONS

4.	11/29/18	REVIEW COMMENTS
3.	11/20/18	CORRECTIVE ACTION REVISIONS
2.	4/3/17	REVIEW COMMENTS
1.	13/17/17	REVIEW COMMENTS

DRAWN BY: CMS
 DESIGNED BY: TAP/CMS
 CHECKED BY: TAP

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 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
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DEFINITIVE SUBDIVISION PLAN
 DOWNER ESTATES
 OFF PLANTERS FIELD LANE
 HINGHAM, MASSACHUSETTS
 PREPARED FOR: FEELY REALTY TRUST
 232 WATER STREET
 QUINCY, MA 02169

JANUARY 23, 2017
 SCALE: AS NOTED
 JOB No. 11-098
 LATEST REVISION:
 NOVEMBER 29, 2018
CONSTRUCTION DETAILS

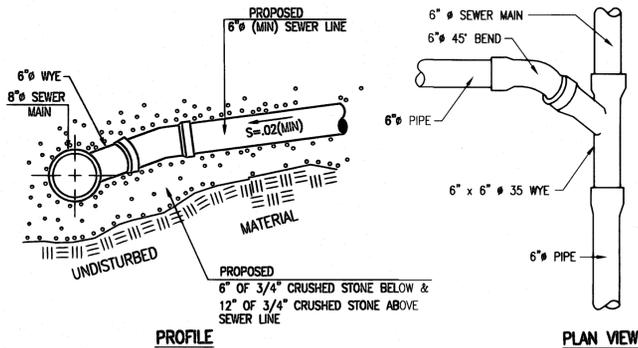
SHEET C8.3
 119-103

SEWER NOTES

- ALL SEWERAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE PLUMBING CODE AND HINGHAM SEWER COMMISSION REQUIREMENTS. THE SEWER SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THE APPLICANT FOR THE BUILDING SEWER PERMIT SHALL NOTIFY THE COMMISSION AND DPW AT LEAST 48 HOURS PRIOR TO THE START OF AN APPROVED SEWER CONNECTION. THE APPLICANT SHALL CONNECT ALL SANITARY SEWER DISCHARGES TO THE BUILDING SEWER AND THE CONNECTION TO THE SANITARY SEWER SHALL BE MADE UNDER THE SUPERVISION OF HINGHAM DPW AND HINGHAM SEWER COMMISSION CONSTRUCTION SPECIFICATIONS.
- THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR SHALL VERIFY PRIOR TO INITIATING CONSTRUCTION.
- CALL DIG SAFE 1-888-344-7233 AT LEAST 3 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE OR ANOTHER EQUIVALENT THAT IS WATER-TIGHT AND STRUCTURALLY SOUND. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATER-TIGHT.
- THE CONTRACTOR SHALL REMOVE BY PUMPING OR OTHER MEANS ANY WATER ACCUMULATED IN THE TRENCH DURING THE PIPE LAYING PERIOD AND KEEP THE TRENCH DRY UNTIL THE JOINTS ARE PROPERLY CONNECTED. (TRENCH WATER CAN NOT BE PUMPED INTO THE SEWER)
- ALL PIPE BEFORE BEING PLACED IN THE TRENCH SHALL BE CLEAN AND FREE FROM DEFECTS. THE PIPE SHALL BE LAID TO THE GRADE AND ALIGNMENT INDICATED ON THE APPROVED PLAN. A MINIMUM SLOPE OF 0.02 IS REQUIRED FOR SEWER SERVICES TO PROVIDE A SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND.
- THE CONTRACTOR MUST NOTIFY TOWN PRIOR TO BACKFILLING.
- WHEN EXCAVATION FOR A SEWER EXPOSES OTHER UTILITIES, THE AREA SURROUNDING ALL PIPES SHALL BE FILLED WITH CLEAN GRAVEL FROM THE BOTTOM OF THE DEEPEST NEWLY EXCAVATED TRENCH TO 6 INCHES ABOVE THE UPPER MOST PIPE.
- THE SERVICE CONNECTION TEN FEET FROM THE FOUNDATION TO THE MAIN SHOULD NOT HAVE AN ANGULAR DEVIATION OF MORE THAN 180°. ALL DEFLECTIONS WITH EXCEPTION OF PIPE JOINTS, SHALL BE IN THE FORM OF LONG SWEEPS AND NOT SHORT ANGULAR FITTINGS.
- THE USE OF ROUGH CUT SECTIONS OF PIPE IS DISCOURAGED AND SHALL BE USED ONLY WHEN NECESSARY. THE INSIDE EDGE OF THE ROUGH CUT PIPE SHALL BE FILED SMOOTH.
- NO CEMENTED JOINTS SHALL BE ALLOWED UNLESS IN CONJUNCTION WITH RUBBER SEAL AND APPROVED BY THE TOWN.
- OPEN ENDS OF SEWER PIPE AND CLEANOUTS SHALL BE SEALED WITH CAPS OR PLUGS AS RECOMMENDED AND FURNISHED BY THE MANUFACTURER.
- 5" (MIN) CLEANOUTS SHALL BE LOCATED, 5 FEET FROM THE FOUNDATION, AT ANGLE POINTS OF GREATER THAN 45° WHERE LONG SWEEPS CAN NOT BE USED, AND FOR LONG SERVICES AT INTERVALS OF NOT MORE THAN 100 FEET.
- THE SEWER PIPE SHALL BE PLACED ON A BED OF CLEAN GRAVEL. BACKFILL MATERIAL SHOULD BE FREE OF ANY LARGE STONES, ORGANIC SUBSTANCES OR FROST.
- ALL INTERIOR PLUMBING TO BE PERFORMED BY A LICENSED CONTRACTOR.
- THE TOPS OF ALL PRECAST STRUCTURES SHALL EXTEND ABOVE GROUNDWATER.
- PRIOR TO PLACING THE SEWER SYSTEM ON LINE THE FOLLOWING SHALL BE PERFORMED: A LEAK TEST SHALL BE PERFORMED ON ALL SEWER PIPES BY UTILIZING THE LOW PRESSURE TESTING METHOD. ALL SEWER MAINS AND MANHOLES SHALL BE TESTED FOR DEFLECTION AND LEAKS AS PRESCRIBED IN TECHNICAL RELEASE 16, TR16 SECTION 2.3.9

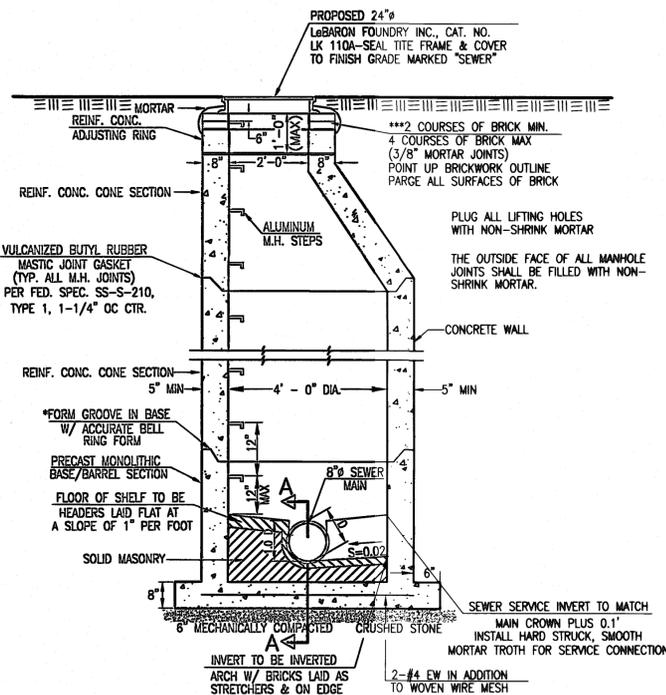
CONSTRUCTION NOTES

- ALL TREE STUMPS & DEBRIS SHALL BE DISPOSED OF OFF SITE AT AN APPROVED FACILITY. THE BOARD OF HEALTH & CONSERVATION COMMISSION MAY REQUIRE PROOF OF DISPOSAL.
- ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN, SHALL BE GRADED WITH 6" OF SCREENED LOAM, SEEDED, HAY MULCH TO BE USED FOR EROSION CONTROL AS NECESSARY.
- WHERE CONSTRUCTION IS PROPOSED THE PAVEMENT AND CONCRETE WALKS ARE TO BE SAW CUT TO A NEAT LINE.
- STRUCTURAL FILL IS REQUIRED BENEATH THE BUILDING'S FOUNDATION & CELLAR SLAB. FILL TO BE COMPACTED IN 12" LIFTS TO A MODIFIED PROCTOR OF 95%. FILL TO BE CERTIFIED BY OTHERS & MAY REQUIRE INSPECTIONS BY THE BUILDING DEPARTMENT.
- WHEN TRENCHES ARE REQUIRED ON PLANTERS FIELD LANE FOR UTILITY CONNECTIONS REPLACEMENT PAVEMENT FOR TRENCHES SHALL CONSIST OF 2 1/2" FINISH COURSE AND 3" BINDER COURSE BIT. CONCRETE PAVEMENT TYPE 1-1 OVER A COMPACTED GRAVEL BASE (MASS HIGHWAY SPEC. M1.03.0 TYPE b OR M2.01.7) COMPACTED TO 95% MAX DRY DENSITY MEETING ALL REQUIREMENTS OF THE HINGHAM DPW.



PROPOSED BUILDING SEWER WYE CONNECTION
(NOT TO SCALE)

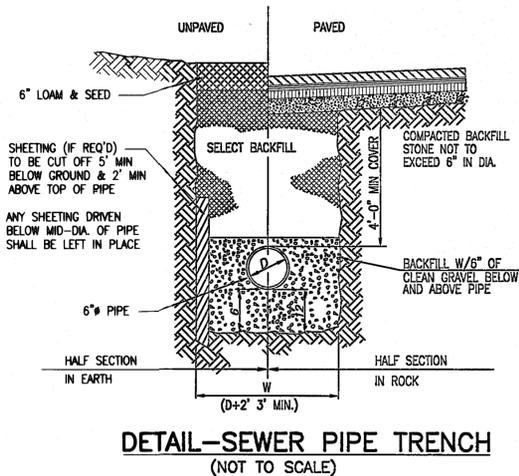
(NOTE: ALL PROPOSED PIPING TO BE PVC SDR 35 OR APPROVED EQUAL)



PROPOSED SANITARY SEWER MANHOLE
(ALL COMPONENTS OF THE SEWER COLLECTION SYSTEM SHALL BE WATER-TIGHT)
(NOT TO SCALE)

- * IN NO CASE SHALL THE PIPE OPENING IN THE MANHOLE INTERSECT THE PREFABRICATED PRECAST CONCRETE SHIP LAP JOINT.
- ** FOR PLACEMENT OF STRUCTURES IN GROUNDWATER REFER TO PLAN NOTES ENTITLED "CONSTRUCTION IN GROUNDWATER".
- *** A MAXIMUM OF 2 BRICK COURSES WITH REINF. CONC. ADJUSTING RINGS SHALL BE USED WHEN THE GROUNDWATER IS WITHIN 18" OF THE FINISH GRADE.

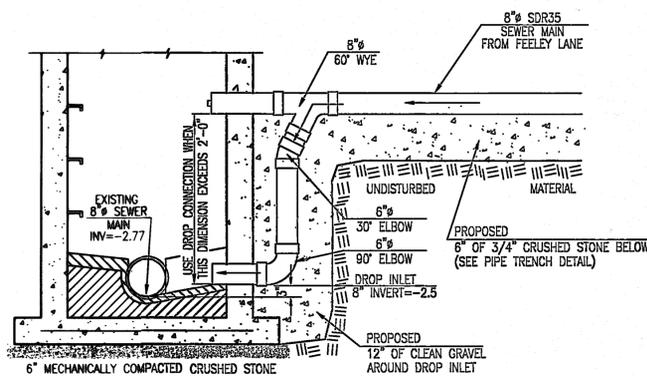
- NOTES:**
- ALL OUTER SECTIONS MUST BE BITUMINOUS ASPHALT COATED.
 - ALL COVERS SHALL HAVE THE WORD "SEWER" IN 3" LETTERS CAST THEREON.



DETAIL - SEWER PIPE TRENCH
(NOT TO SCALE)

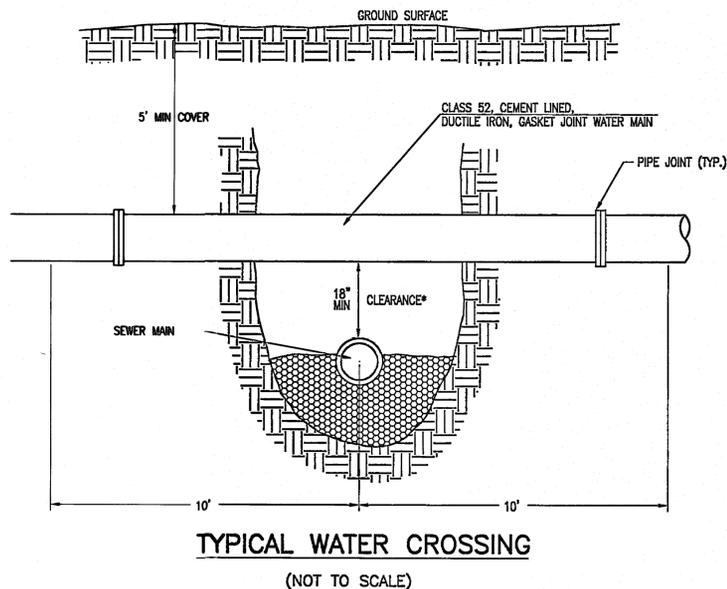
NOTES:

- TRENCH SHALL BE BACKFILLED AND COMPACTED TO 95% DENSITY
- PIPE JOINTS SHALL BE RUBBER RING GASKETS
- ALL PROPOSED PIPING TO BE SDR 35 OR APPROVED EQUAL
- WHEN TRENCHES ARE REQUIRED ON PLANTERS FIELD LANE FOR UTILITY CONNECTIONS REPLACEMENT PAVEMENT FOR TRENCHES SHALL CONSIST OF 2 1/2" FINISH COURSE AND 3" BINDER COURSE BIT. CONCRETE PAVEMENT TYPE 1-1 OVER A COMPACTED GRAVEL BASE (MASS HIGHWAY SPEC. M1.03.0 TYPE b OR M2.01.7) COMPACTED TO 95% MAX DRY DENSITY MEETING ALL REQUIREMENTS OF THE HINGHAM DPW.

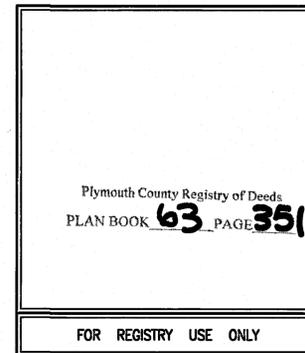


PROPOSED DROP INLET SEWER MANHOLE CONNECTION
(STA -0+50)

*SEE "PROPOSED SANITARY SEWER MANHOLE DETAIL" FOR CONSTRUCTION REQUIREMENTS



TYPICAL WATER CROSSING
(NOT TO SCALE)



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

SHANE M. BRENNER, P.L.S. No. 45917 DATE 12/10/18

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: [Signature]

DATE SIGNED: 12-18-18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 7th DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 9-11-17 FILED WITH THE HINGHAM TOWN CLERK ON 9-14-17 AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: JAN 13 2019
TOWN CLERK, TOWN OF HINGHAM

REVISIONS

4.	11/29/18	REVIEW COMMENTS
3.	11/20/18	CERTIFICATE OF ACTION REVISIONS
2.	4/3/17	REVIEW COMMENTS
1.	3/17/17	REVIEW COMMENTS

THOMAS A. POZERSKI
REGISTERED PROFESSIONAL ENGINEER
No. 46859

THOMAS A. POZERSKI

DRAWN BY: CMS

DESIGNED BY: TAP/CMS

CHECKED BY: TAP

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26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-8060
WWW.MERRILLINC.COM

DEFINITIVE SUBDIVISION PLAN

DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS

PREPARED FOR: FREELY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017

SCALE: AS NOTED

JOB No. 11-098

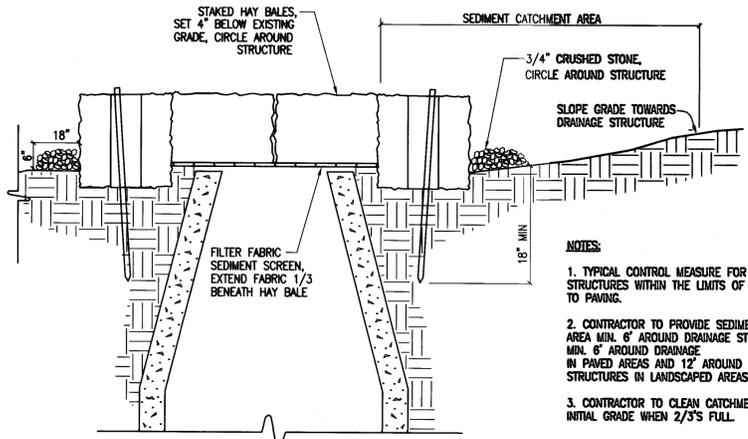
LATEST REVISION:
NOVEMBER 29, 2018

CONSTRUCTION DETAILS

SHEET C8.4

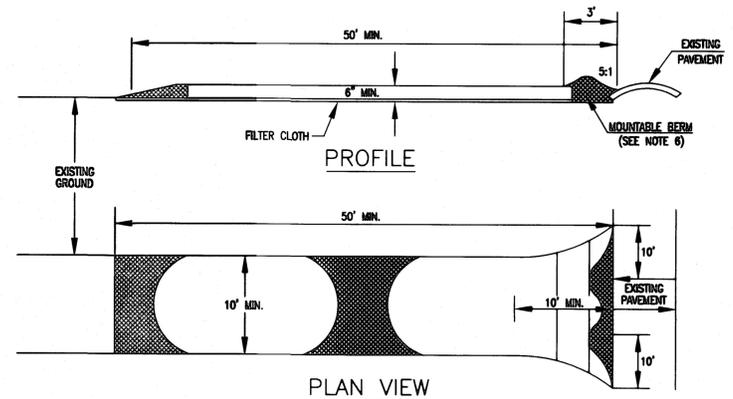
19-103

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DRAINAGE STRUCTURE SEDIMENT TRAP
NOT TO SCALE

- NOTES:**
1. TYPICAL CONTROL MEASURE FOR ALL DRAINAGE STRUCTURES WITHIN THE LIMITS OF WORK PRIOR TO PAVING.
 2. CONTRACTOR TO PROVIDE SEDIMENT CATCHMENT AREA MIN. 6' AROUND DRAINAGE STRUCTURES IN MIN. 6' AROUND DRAINAGE IN PAVED AREAS AND 12' AROUND DRAINAGE STRUCTURES IN LANDSCAPED AREAS.
 3. CONTRACTOR TO CLEAN CATCHMENT AREA TO INITIAL GRADE WHEN 2/3'S FULL.



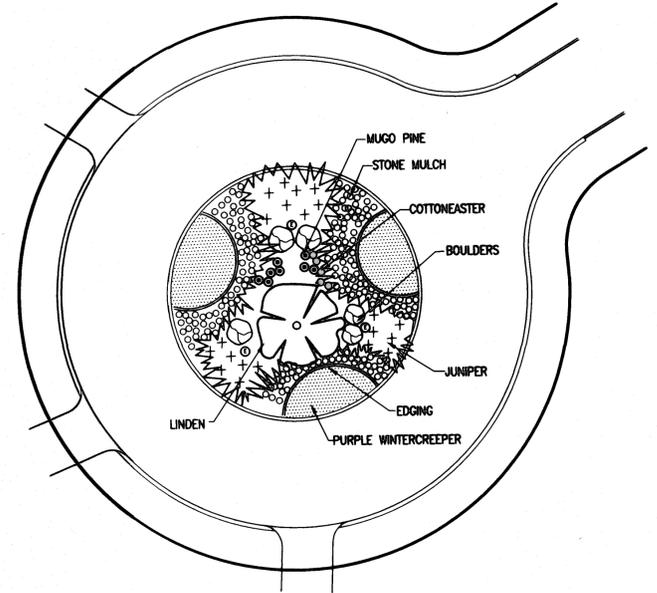
STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)

SPECIFICATIONS

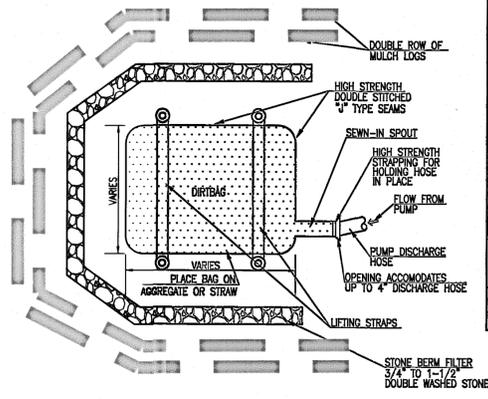
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CUL-DE-SAC PLANT LIST:

SYMBOL	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
⊙	1	TILIA CORDATA "GREEN SPIRE"	GREENSPIRE LINDEN	3-3.5" CAL.	
⊙	8	PINUS MUGO	MUGO PINE	2 GALLON	
⊙	20	JUNIPERUS SARGENTI	SARGENT JUNIPER	15 - 18"	
⊙	5	COTONEASTER DIVARICATA	SPREADING COTONEASTER	18 - 24"	
⊙	3	EUONYMUS FORTUNEI	EUONYMUS EMERALD N' GOLD	1 GALLON	
⊙	20±	FLATS	EUONYMUS FORTUNEI COLORATUS	50/FLAT	



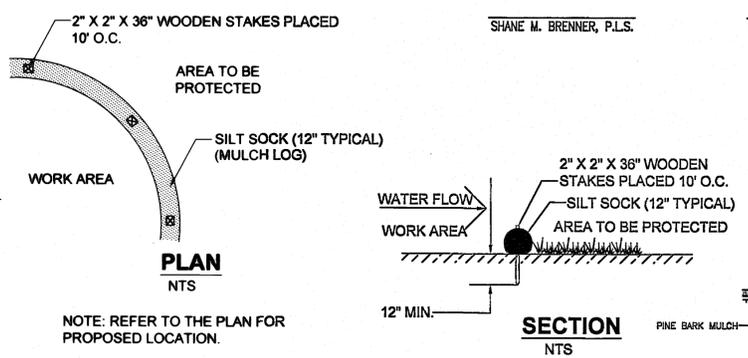
DETAIL-CUL-DE-SAC PLANTINGS
SCALE: 1"=20'



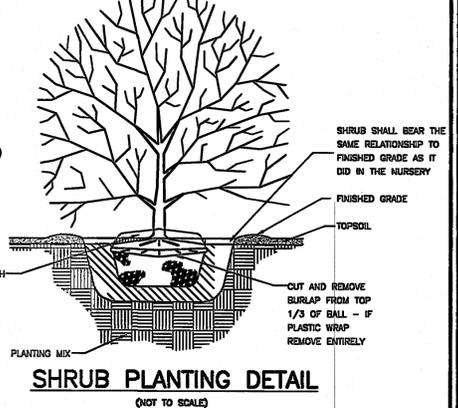
DIRTBAG DETAIL
(NOT TO SCALE)

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

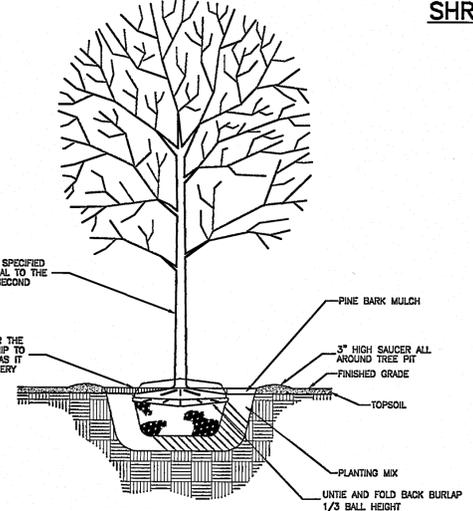
SHANE M. BRENNER, P.L.S. DATE: JAN 25, 2019



MULCH LOGS DETAIL
NTS



SHRUB PLANTING DETAIL
(NOT TO SCALE)

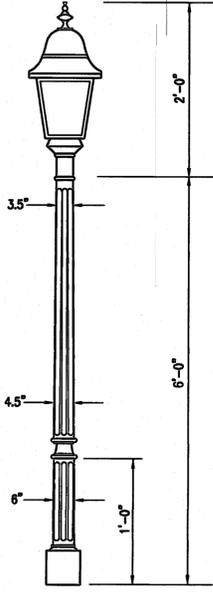


TYPICAL TREE PLANTING
(NOT TO SCALE)

PROPOSED PLANTING NOTES:

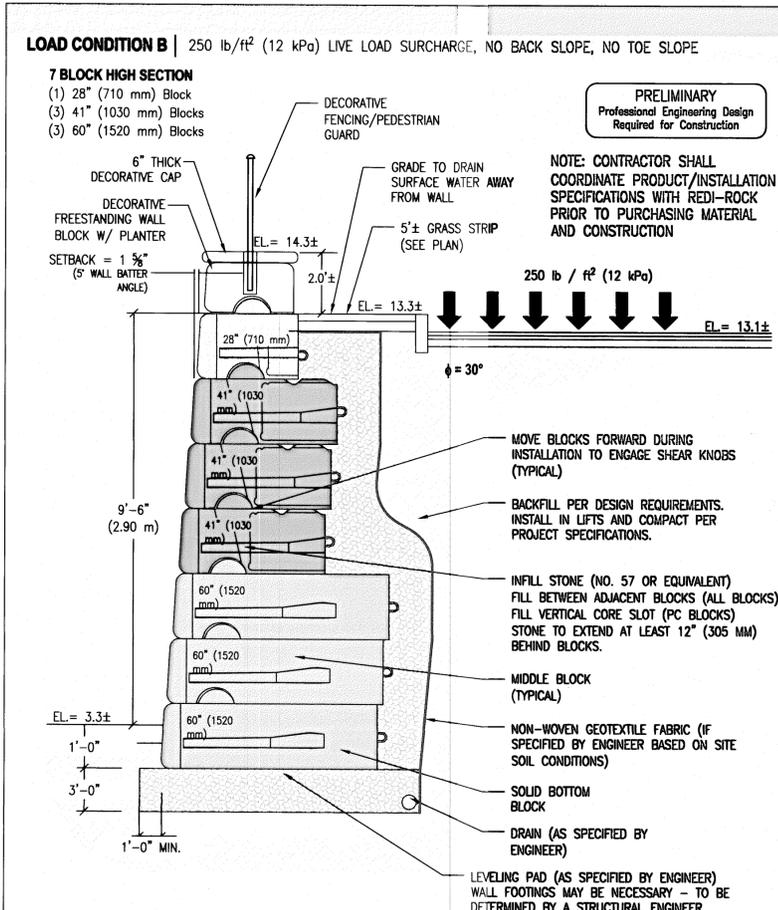
1. STREET TREES SHOULD BE SPACED 50' O.C. 10 FEET OFF THE RIGHT OF WAY LINE. (SEE SHEET C6.1)
2. STREET TREES SHALL BE A MINIMUM OF 12' IN HEIGHT AND OF A SPECIES APPROVED BY THE SUPERINTENDENT OF PUBLIC WORKS. (ALL STREET TREES SHALL BE THE SAME SPECIES)
3. STREET TREES SHALL HAVE A MINIMUM CALIPER OF 3" MEASURED AT 3' ABOVE GRADE.
4. TOTAL PROPOSED STREET TREES = 6 TREES (PLUS 4 ON PLANTER'S FIELD LANE)
5. STREET TREES SHALL BE PLANTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY (STREET TREE REQUIREMENTS SHALL BE SPECIFIED IN THE DEED).
6. CUL-DE-SAC ISLAND SHALL HAVE NO TREES PLANTED ON IT THAT COULD GROW AND IMPEDE THE TURNING RADIUS OF A FIRE APPARATUS.
7. ISLANDS SHALL BE COMPLETELY COVERED WITH LOW LYING, LOW MAINTENANCE SHRUBS AND GROUND COVER PLANTS.

DECORATIVE LIGHT DETAIL
(NOT TO SCALE)



NOTES:

1. SPECIFIC LIGHT FIXTURE TO BE DETERMINED. THIS DETAIL IS FOR GENERAL DESCRIPTION ONLY.
2. THE LIGHT FIXTURE SHALL BE SHIELDED AND INSTALLED SO AS TO NOT SHINE IN THE ROADWAY.



SECTION A-A (SHEET C6.1)
(NOT TO SCALE)

LOAD CONDITION B | 250 lb/ft² (12 kPa) LIVE LOAD SURCHARGE, NO BACK SLOPE, NO TOE SLOPE

7 BLOCK HIGH SECTION
(1) 28" (710 mm) Block
(3) 41" (1030 mm) Blocks
(3) 60" (1520 mm) Blocks

PRELIMINARY
Professional Engineering Design
Required for Construction

NOTE: CONTRACTOR SHALL COORDINATE PRODUCT/INSTALLATION SPECIFICATIONS WITH REDI-ROCK PRIOR TO PURCHASING MATERIAL AND CONSTRUCTION

THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE. FINAL WALL DESIGN MUST ADDRESS BOTH INTERNAL AND EXTERNAL DRAINAGE AND ALL MODES OF WALL STABILITY.

DRAWN BY: C. Kruger
APPROVED BY: J. Johnson
DATE: June 9, 2015
SHEET: 1 of 1

FILE: B_30_B_60_126_cad.dwg

REDI-ROCK
06481 US 31 SOUTH, CHARLEVILLE, WI 49720
(888) 222-8400 ext 3010 • engineering@redi-rock.com
www.redi-rock.com

Plymouth County Registry of Deeds
PLAN BOOK **63** PAGE **352**

FOR REGISTRY USE ONLY

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: [Signature]

DATE SIGNED: 12-18-18

THIS APPROVAL IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 1-11-19, FILED WITH THE HINGHAM TOWN CLERK ON 4-14-17, AND HEREWITH RECORDED AS PART OF THIS PLAN.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 1-11-19, FILED WITH THE HINGHAM TOWN CLERK ON 4-14-17, AND HEREWITH RECORDED AS PART OF THIS PLAN.

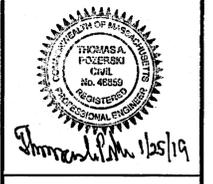
HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: JAN 25, 2019
[Signature]
TOWN CLERK, TOWN OF HINGHAM

REVISIONS

4.	11/29/18	REVIEW COMMENTS
3.	11/20/18	CERTIFICATE OF ACTION REVISIONS
2.	4/3/17	REVIEW COMMENTS
1.	15/17/17	REVIEW COMMENTS



DRAWN BY: CMS
DESIGNED BY: TAP/CMS
CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
WWW.MERRILL-INC.COM

DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS

PREPARED FOR: FEELY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION:
NOVEMBER 29, 2018
CONSTRUCTION DETAILS

GENERAL CONSTRUCTION AND EROSION CONTROL NOTES:

- PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING THERE SHALL BE A PRE-CONSTRUCTION MEETING ATTENDED BY THE APPLICANT TEAM, THE CONSERVATION ADMINISTRATOR, THE TOWN PLANNER, THE ENGINEER FOR THE PLANNING BOARD, AND THE POLICE CHIEF OR HIS PROXY TO REVIEW THE INSTALLATION OF THE EROSION CONTROL MEASURES, ANSWER ANY QUESTIONS ON THE STORMWATER POLLUTION PREVENTION PLAN, DISCUSS THE PROJECT TIMELINE AND THE SCHEDULE OF POLICE DETAILS.
- POLICE DETAILS SHALL BE REQUIRED AT THE DISCRETION OF THE CHIEF OF POLICE TO ASSIST IN MANAGING CONSTRUCTION TRAFFIC ENTERING OR EXITING THE SITE, AND WHEN MATERIAL IS BEING IMPORTED/EXPORTED FROM THE SITE DURING CONSTRUCTION OF ROADS OR INDIVIDUAL LOTS.
- CONSTRUCTION VEHICLE TRAFFIC SHALL BE COORDINATED WITH THE CHIEF OF POLICE AS TO NOT INTERFERE WITH THE FOSTER SCHOOL SCHEDULE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS.
- THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES WITH UTILITY COMPANIES.
- UNDERGROUND UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE VARIOUS DEPARTMENTS OR COMPANIES.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF HINGHAM PLANNING BOARD RULES AND REGULATIONS, DPW SPECIFICATIONS, CONSERVATION COMMISSION REGULATIONS, AQUARIUM WATER CO. REGULATIONS AND ALL OTHER APPLICABLE CODES.
- ALL STUMPS SHALL BE DISPOSED OFF SITE.
- CONTRACTOR TO NOTIFY "DIG-SAFE" AND THE TOWN OF HINGHAM DEPARTMENT OF PUBLIC WORKS AND AQUARIUM WATER CO. (781-834-5580) 4 DAYS PRIOR TO CONSTRUCTION
- WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT TO A NEAT LINE AND MATCH GRADE.
- ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 6" OF LOAM, SEEDED AND STRAW OR MULCHED FOR EROSION CONTROL.
- DRAINAGE SYSTEM TO BE AS PER HINGHAM DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
- ALL SUBSURFACE STRUCTURES TO CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT CONSTRUCTION STANDARDS AND SHALL BE SUITABLE FOR H-20 LOADING.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS DATED MARCH 1997, THE ORDER OF CONDITIONS AND ALL MUNICIPAL REGULATIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETER WITH MULCH LOGS TO PREVENT AND/OR CONTROL SILTATION AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE MODIFIED AS APPROVED BY THE ENGINEER.
- TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS THAT REMAIN DISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
- EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF MULCH LOG.
- CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY MULCH LOG FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- SILT BAGS SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED CATCHBASINS SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE DRAINAGE SYSTEMS AT ANY TIME.
- MULCH LOGS SHALL ALSO BE PLACED AROUND CATCHBASINS AND ARE REQUIRED DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED/REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROL MATERIALS (MULCH LOGS) FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.
- TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
- THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE AWARE THAT SOIL, GRADES AND WETLANDS PROXIMITY AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
- THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITION, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
- THE CONTRACTOR SHALL AT HIS EXPENSE SURVEY AND MARK OUT IN THE FIELD THE LIMITS OF CLEARING (I.E., EROSION CONTROL LINE).
- THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNER AND CONSERVATION AGENT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.
- THE ENTIRE RIGHT OF WAY OF FEELEY LANE IS A HINGHAM MUNICIPAL LIGHT PLANT EASEMENT.

UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY. ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE, IF THE OWNER ELECTS TO INSTALL GAS.
- DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.

AQUARIUM WATER SYSTEM NOTES:

- ALL WATER SYSTEM MATERIALS SHALL BE AS PER AQUARIUM WATER COMPANY SPECIFICATIONS (LATEST VERSION).
- WATER MAINS TO BE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO AWWA C150 AND AWWA C151, PUSH ON TYPE JOINTS WITH GASKETS CONFORMING TO AWWA C111, DOUBLE CEMENT LINES INSIDE CONFORMING TO AWWA C104, AND ASPHALT SEAL COATED OUTSIDE (CONFORMING TO AWWA 203). IN AREAS WHERE GROUNDWATER LEVELS AREA ABOVE THE PIPE LAYING DEPTH, FURNISH AND INSTALL POLYETHYLENE ENCASUREMENT ("V-BIO" ENHANCED POLYETHYLENE ENCASUREMENT AS MANUFACTURED BY THE DUCTILE-IRON PIPE RESEARCH ASSOCIATION).
- ALL PIPE FITTINGS SHALL BE DUCTILE IRON, CLASS 350 MECHANICAL JOINT CONFORMING TO AWWA C153. ALL FITTINGS SHALL BE RESTRAINED WITH SERIES 1100 MEGALUG AS MANUFACTURED BY EBMA IRON, OR APPROVED EQUAL.
- ALL GATE VALVES SHALL BE RESILIENT WEDGE SEATED VALVES CONFORMING TO AWWA C509 (MUELLER CO 2360 SERIES OR APPROVED EQUAL). VALVES SHALL HAVE CORROSION RESISTANT FUSION - BONDED INTERIOR AND EXTERIOR COATINGS. VALVES ARE TO HAVE DOUBLE O RING SEALS, A NON-RISING STEM, 2 INCH OPERATING NUT, AND BE OPEN "RIGHT" (CLOCKWISE TO OPEN). AN ARROW INDICATING THE OPENING POSITION SHALL BE CAST INTO THE OPERATING NUT.
- VALVE BOXES SHALL BE CAST IRON, ASPHALT COATED, SLIDING TYPE, ADJUSTABLE, TOGETHER WITH CAST IRON COVERS WITH THE WORD "WATER" PLAINLY CAST IN RELIEF ON THE TOP SURFACE. A MINIMUM 6" OVERLAP IS REQUIRED BETWEEN SLIDING SECTIONS. THE INSIDE DIAMETER OF THE BOTTOM SECTION SHALL BE AT LEAST 8-1/4 INCHES AND SHALL HAVE A BELLED BASE. THE TOP SECTION SHALL BE AT LEAST 6-1/8 INCHES AND HAVE TOP FLANGES. THE BOTTOM SECTION SHALL BE AT LEAST 36 INCHES IN LENGTH. THE TOP SECTION SHALL BE AT LEAST 26 INCHES IN LENGTH AND HAVE A PLAIN BOTTOM.
- TAPPING SLEEVES AND VALVES SHALL HAVE RESILIENT WEDGE GATE VALVES AS SPECIFIED ABOVE WITH THE FOLLOWING EXPECTATIONS. TAPPING SLEEVE SHALL BE MUELLER CO. STAINLESS STEEL TAPPING SLEEVE MODEL H-304SS. SLEEVES SHALL MEET ANSI/NSF 61 STANDARDS. SLEEVE OUTLET SHALL HAVE A 3/8" TESTING PORT WITH A 3/8" SPT BRASS TEST PLUG. TAPPING VALVES SHALL BE FULL PORT OPENING AND ABOVE SPECIFIED.
- HYDRANTS SHALL BE MUELLER SUPER CENTURION A-423, CONFORMING TO AWWA C502 (DRY BARREL HYDRANTS) AND PAINTED RED. FIRE HYDRANTS SHALL HAVE MECHANICAL JOINT SHOES, 5"-6" BURY (STREET LEVEL SHOULDER AREAS) OR 6"-0" BURY (RAISED SIDEWALK) AND MARKED WITH AN ARROW AND THE WORD "OPEN" TO INDICATE THE DIRECTION TO TURN THE STEM TO OPEN THE HYDRANT. HYDRANTS SHALL OPEN RIGHT (CLOCKWISE TO OPEN).
- CURB STOP BOXES SHALL BE CAST IRON ERIE TYPE WITH RECESSED LD WITH PENTAGON BOLT AND THE WORD "WATER" CAST ON TOP, AND ADJUSTABLE SLIDING TYPE WITH ARCH PATTERN. CURB STOP BOXES SHALL BE DOMESTICALLY MANUFACTURED BY MUELLER OR BINGHAM AND TAYLOR.
- DUCTILE IRON PIPE AND FITTINGS SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF AWWA C600, LATEST EDITION. WATER MAINS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER. PRESSURE TESTING SHALL CONSIST OF 200 PSI FOR 10 MINUTES AND 150 PSI FOR 2 HOURS.
- THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION MUST BE MAINTAINED FOR ALL WATER LINES AND OTHER UTILITIES: 18 INCHES VERTICAL (WATER LINE 18-INCHES ABOVE) AND 10 FEET HORIZONTAL.
- AT NO TIME SHALL A WATER MAIN OR SERVICE BE INSTALLED GREATER THAN 8 FEET BELOW FINISHED GRADE.
- WATER MAINS SHALL NOT BE INSTALLED BELOW CONCRETE PADS AND CONCRETE SIDEWALKS AND OR LANDSCAPED ISLANDS SHALL BE AVOIDED WHENEVER POSSIBLE.
- ALL EXCAVATION AND RESTORATION WORK SHALL MEET TOWN SPECIFICATIONS INCLUDING SPECIAL PROVISIONS OF THE GRANT OF LOCATION AND STREET OPENING PERMITS. A TOWN STREET OPENING PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT POLICE DETAIL AS REQUIRED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER EXCEPT AS NOTED ON THE PLAN, REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES, OR AS DIRECTED BY THE AQUARIUM WATER COMPANY.
- UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER, THE NEW WATER MAIN SHALL PASS UNDER EXISTING UTILITY AND DRAIN LINES.
- ALL WATER MAIN FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS AND SHALL BE MECHANICAL JOINTS WITH MEGALUG RESTRAINTS.
- THE DOMESTIC WATER SERVICES SHALL BE 1" TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED AND APPROVED GATE, BOX AND TEE FITTINGS.
- CONTRACTOR SHALL USE A WATER TIGHT PLUG DURING THE WATER MAIN INSTALLATION. PLUG SHALL REMAIN IN PLACE AT ALL TIMES.
- THE CONTRACTOR, AT THEIR EXPENSE, SHALL PROVIDE ADDITIONAL TAPS (IF REQUIRED) FOR THE CHLORINATING AND HYDROSTATIC TESTING. TAPS SHALL BE REMOVED AND CAPPED AFTER TESTING IS COMPLETE.
- PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH AQUARIUM WATER COMPANY STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS RESULTS SHALL BE FURNISHED TO THE AQUARIUM WATER COMPANY FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
- NO WATER WILL BE TURNED ON FOR THE PROJECT WITHOUT AQUARIUM WATER COMPANY APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY PAVEMENT MARKINGS, STRIPING, CURBING, PAVEMENT, LANDSCAPING, ETC. TO EQUAL OR BETTER THAN PRIOR TO CONSTRUCTION CONDITION.
- THE ENTIRE RIGHT OF WAY OF FEELEY LANE IS AN AQUARIUM WATER COMPANY EASEMENT.

GRADING AND DRAINAGE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
- CATCH BASINS SHALL BE EQUIPPED WITH GAS/OIL HOODS AND ALL CATCH BASINS SHALL HAVE 4 FOOT SUMPS.
- ALL ON-SITE STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE.
- REINFORCED CONCRETE MANHOLES & CATCH BASINS SHALL BE CAPABLE OF HANDLING H2O LOADING AND BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C478 AND AASHTO DESIGNATION M199. ALL PIPES AND STRUCTURES SHALL MEET THE LATEST MASS HIGHWAY DEPARTMENT SPECIFICATIONS, HINGHAM DPW SPECIFICATIONS AND THE HINGHAM PLANNING BOARD RULES AND REGULATIONS.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
- RIP RAP SPLASH APRONS SHALL BE PROVIDED AT ALL DRAINAGE OUTFALLS AS SHOWN ON THE DRAWINGS.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

CONSTRUCTION SEQUENCE:

- INSTALLATION OF EROSION CONTROL BARRIER. ROUTINE INSPECTIONS OF THE BARRIER SHALL BE PERFORMED BY THE COONTRACTOR AND SEDIMENT SHALL BE REMOVED IN ACCORDANCE WITH THE SPECIFICATIONS AND OPERATIONS AND MAINTENANCE PLAN.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE
- CLEAR AND GRUB ROADWAY AND EASEMENT AREAS
- BRING CUT AREAS TO SUBGRADE
- CONSTRUCT WATER QUALITY SWALES INCLUDING LOAM AND SEED.
- INSTALL SEDIMENTATION BARRIERS AROUND THE WATER QUALITY SWALES TO PREVENT DISCHARGE OF SEDIMENT INTO (WQS) DURING CONSTRUCTION (STORMWATER BASIN SHALL NOT BE PLACED INTO OPERATION PRIOR TO INSTALLATION OF PAVEMENT AND STABILIZATION OF ALL SURFACES CONTRIBUTING TO CLOSED DRAINAGE SYSTEM.
- INSTALL UTILITIES (i.e. DRAIN, SEWER, WATER, ELECTRIC, etc.)
- INSTALL MULCH LOGS AROUND CATCHBASINS TOGETHER WITH SILT SACKS BENEATH CATCHBASIN GRATES
- CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE
- INSTALL EROSION CONTROLS ON EXPOSED SLOPES
- PLACE BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS UNCOVER TEMPORARY DRAINAGE SEALS / FINISH PAVING ON ROADWAY
- AFTER WATER QUALITY SWALES HAVE BEEN PLACED INTO OPERATION INSPECT AFTER ALL STORMS AND AT LEAST MONTHLY.

OPERATION AND MAINTENANCE PLAN:

CONSTRUCTION ACTIVITIES SHALL FOLLOW THE CONSTRUCTION SEQUENCE SHOWN ON THE APPROVED PLAN. DURING PERIODS OF ACTIVE CONSTRUCTION THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A WEEKLY BASIS AND WITHIN 24 HOURS OF A STORM EVENT OF GREATER THAN 1/2". MAINTENANCE TASKS SHALL BE PERFORMED MONTHLY OR AFTER SIGNIFICANT RAINFALL EVENTS OF 1" OF RAIN OR GREATER. DURING CONSTRUCTION, SILT LADEN RUNOFF SHALL BE PREVENTED FROM ENTERING THE EXISTING WETLANDS AND OFF-SITE PROPERTIES. SILT SOCK SHALL BE INSTALLED IN ADVANCE OF CONSTRUCTION ALONG THE EDGE OF ALL DISTURBED AREAS WITHIN THE BUFFER AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT. SILT SACKS FOR CATCHBASINS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF EACH CATCHBASIN. THE LOCATION OF THE EROSION CONTROL MEASURES IS TO BE SHOWN ON THE APPROVED PLANS.

DURING DEWATERING OPERATIONS, ALL WATER PUMPED SHALL BE DIRECTED TO A "DIRT BAG" PUMPED SEDIMENT REMOVAL SYSTEM (OR APPROVED EQUAL) AS MANUFACTURED BY ACF ENVIRONMENTAL. THE UNIT SHALL BE PLACED ON A CRUSHED STONE BLANKET. DISPOSAL OF SUCH "DIRT BAG" SHALL OCCUR WHEN THE DEVICE IS FULL AND CAN NO LONGER EFFECTIVELY FILTER SEDIMENT OR ALLOW WATER TO PASS AT A REASONABLE FLOW RATE. DISPOSAL OF THIS UNIT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AS DIRECTED BY THE OWNER IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

STABILIZED CONSTRUCTION ENTRANCES SHALL BE PLACED AT THE PROJECT STREET ENTRANCE AND SHALL CONSIST OF 1 1/2" TO 2" STONE AND BE CONSTRUCTED AS SHOWN ON THE APPROVED PLANS.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

THE WATER QUALITY SWALES SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT DURING CONSTRUCTION AND CLEANED TO ENSURE PROPER FUNCTION. DEEP SUMP CATCH BASINS AND WATER QUALITY STRUCTURES SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT DURING CONSTRUCTION AND CLEANED WHEN SEDIMENT EXCEEDS 18" DEPTH. SILT TRAPS SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT DURING CONSTRUCTION AND CLEANED WHEN SEDIMENT DEPTH EXCEEDS 3".

ONCE EACH STRUCTURE IS IN PLACE, IT SHOULD BE MAINTAINED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THE POST-CONSTRUCTION OPERATIONS AND MAINTENANCE PLAN.

HINGHAM PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: *[Signature]*
DATE SIGNED: 12-16-18

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE 7th DAY OF December 2018, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE RECORD.

THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE HINGHAM PLANNING BOARD CERTIFICATE OF ACTION DATED 4-11-17, FILED WITH THE HINGHAM TOWN CLERK ON 4-14-17, AND HEREWITH RECORDED AS PART OF THIS PLAN.

HINGHAM TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: JAN 17, 2019
[Signature]
TOWN CLERK, TOWN OF HINGHAM

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

[Signature] 12/16/18
SHANE M. BRENNER, P.L.S.
No. 45517

Plymouth County Registry of Deeds
PLAN BOOK 63 PAGE 353
FOR REGISTRY USE ONLY

REVISIONS

4.	11/29/18	REVIEW COMMENTS
3.	11/20/18	CERTIFICATE OF ACTION REVISIONS
2.	4/3/17	REVIEW COMMENTS
1.	3/17/17	REVIEW COMMENTS

[Signature]
DRAWN BY: CMS
DESIGNED BY: TAP/CMS
CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
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26 UNION STREET, PLYMOUTH MA 02560 / T: (508) 746-8080
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DEFINITIVE SUBDIVISION PLAN
DOWNER ESTATES
OFF PLANTERS FIELD LANE
HINGHAM, MASSACHUSETTS
PREPARED FOR: FREELY REALTY TRUST
232 WATER STREET
QUINCY, MA 02169

JANUARY 23, 2017
SCALE: AS NOTED
JOB No. 11-098
LATEST REVISION:
NOVEMBER 29, 2018

CONSTRUCTION DETAILS

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